



## LOCK-UP (PRE-PLASTER) INSPECTION REPORT

1234 Main St. Melbourne VIC 3000

Buyer Name  
05/08/2021 9:00AM



Inspector  
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## **Inspection Agreement**

1. This is an Agreement between you, the undersigned Client and us, Owner Inspections, pertaining to our inspection of the Property.
2. If there is more than one Client, you are signing on behalf of all of you, and you represent that you are authorised to do so.
3. 'Owner Inspections' Report carries out in accordance with the guidelines of Australian Standard 4349.1 2007 (Standard) which covers the minimum requirements for the Visual Inspection of residential buildings. The purpose of the Inspection is to provide a visual Inspection and provide in-writing advice only to the prospective purchaser/owner regarding the condition of the property at the date and time of Inspection.
4. The Report is NOT a certificate of compliance that the property complies with the requirements of any Act, regulation, ordinance, local law or by-law, local council or other authorities, or as a warranty or an insurance policy against problems developing with the building in the future.
5. The Report is based on the condition of the inspected property at the date and time of Inspection. While the Inspection and Report conducted and prepared with the possible care, still some access limitation and safety hazards can limit the Inspector's ability to detect all defects. These limits and safety items are defined in the standards.
6. The Report assumes that the existing use of the building will continue. If the vendor/owner wishes to change the use of the property, a permit to be acquired from the local authorities.
7. This Report does not include the identification of unauthorised building work or work not compliant with building/council regulations. The Report does not include identification of the municipality regulations and requirements as well as identification of design defects for the construction. According to the Standards, the estimate of the costs of the rectifications is not required in this Report.
8. The construction stage Inspection Report is prepared based on the opinion and assessment of the Inspector at the date and time of the Inspection on the general condition of the inspected property. The Report will not guarantee to include all defects. The Report reflects the quality of workmanship only and will not diminish the responsibility of the builder. The building company has and will have the full responsibility of the build as specified in the law and regulations. This Inspection Report is to Client as a piece of advice and is not a mandatory stage Inspection specified in the Acts and Regulations and building permit.
9. We do not perform engineering, architectural, plumbing, or any other job function requiring an occupational license in the jurisdiction where the property located. If we hold a valid occupational license, we may inform you of this, and you may hire us to perform additional functions. Any agreement for such additional services shall be in a separate writing.

10. Checking Legal matters, building contract, design, easements, local council restrictions and requirements, crossovers, title, boundaries, connections, building envelope, planning and building permits, setbacks and zonings are out of this Inspection and Report scope of work.

11. The Report will not include defects that may only be apparent in certain weather conditions or defects that have not yet appeared due to prolonged periods of wet or dry weather or other reasons.

12. An inspector shall only inspect areas where safe and unobstructed access provided. Reasonable access is defined in AS4349.1-2007 and this Agreement. Reasonable access does not include removing stored material/goods, nails, screws, cutting or making access hole, and moving furniture.

13. We will not test for the presence of radon, a harmful gas, mould, presence of asbestos, soil contamination, or other environmental hazards or violations.

14. The Report does not identify the presence of pests, or any damage caused by pests (e.g. termites, borers, etc.) unless the Client added to the requested service.

15. The Inspection is not intended to include rigorous assessment of all building elements in a property. Any maintenance and general advice items are a helpful guide only. The Report does not necessarily include all maintenance items.

16. If you request a re-Inspection, the re-Inspection is subject to the terms of this Agreement and re-Inspection fee.

17. The Report will be based on the Inspector's assessment on major defects and safety hazards evident and visually visible on the date and time of the Inspection. The Report will also provide a general assessment of the property and collectively comment on minor defects which would form a regular part of property maintenance.

18. Limitation on Liability and Damages: We are not liable for any cost of repair or replacement of unreported defects, either current or arising in the future. In all cases, our liability is limited to liquidated damages in an amount not greater than 1.5 times the fee you paid us. You waive any claim for consequential, exemplary, special or incidental damages or for the loss of the use of the home/building. You acknowledge that these liquidated damages are not a penalty, but that we intend it to: (i) reflect the fact that actual damages may be difficult or impractical to ascertain; (ii) allocate risk between us; and (iii) enable us to perform the Inspection for the agreed-upon fee. If you wish to eliminate this liquidated damage provision, we are willing to perform the Inspection for an additional fee of \$2,000 payable in advance upon your request.

19. Our Inspection and Report are for your use only. You give us permission to discuss our observations with real estate agents, owners, builders, or other interested parties. You will be the sole owner of the Report and all rights to it. We are not responsible for the use or misinterpretation by third parties, and third parties who rely on it in any way do so at their own risk and release us (including employees and business entities) from any liability whatsoever. You are not allowed to send/show our Report and/or a quotation to our market competitors. If Owner Inspections realise that our competitor has/saw our Report belonging to you and your property, we have the right to take legal action to retrieve damages. If you or any person acting on your behalf provide the Report to a third party who then sues you and/or us, you release us from any liability and agree to pay our costs and legal fees in defending any action naming us. Our Inspection and Report are in no way a guarantee or warranty, express or

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implied, regarding the future use, operability, habitability or suitability of the home/building or its components. We disclaim all warranties, express or implied, to the fullest extent allowed by law.

20. You agree that the exclusive venue for any litigation arising out of this Agreement shall be in Australia, where we have our principal place of business. If you fail to prove any claim against us, you agree to pay all our legal costs, expenses and attorneys' fees incurred in defending that claim.

21. If a court declares any provision of this Agreement invalid, the remaining provisions remain in effect. This Agreement represents our entire Agreement; there are no terms other than those set forth herein. All prior discussions are merged into this Agreement. No statement or promise by us shall be binding unless reduced to writing and signed by one of our authorised officers. Any modification of this Agreement must be in writing and signed by you and by one of our authorised officers. This Agreement shall be binding upon and enforceable by the parties and their heirs, executors, administrators, successors and assignees. You will have no cause of action against us after one year from the date of the Inspection.

22. If a court finds any term of this Agreement ambiguous or requiring judicial interpretation, the court shall not construe that term against us because of the rule that any ambiguity in a document is construed against the party drafting it. You had the opportunity to consult qualified legal advice before accepting this Agreement.

23. You may not assign this Agreement.

24. BY BOOKING THE INSPECTIONS, YOU CONFIRM THAT YOU HAVE CAREFULLY READ THIS AGREEMENT. YOU AGREE TO IT AND ACKNOWLEDGE RECEIVING A COPY OF IT.

### **Purpose of Inspection**

The purpose of the Inspection is to provide advice to a prospective purchaser or other interested parties regarding the condition of the property at the time of Inspection.

### **Conditions of Inspection**

An Inspection Report may be conditional on Prevailing weather conditions or recent occupancy and use of services that might affect observations; Information provided by the Client or the agents of the Client; Deliberate concealment of defects; Any other relevant factor limiting the Inspection.

### **Scope of Inspection**

The Inspection shall comprise visual assessment of the property to identify major defects and to form an opinion regarding the general condition of the property at the time of Inspection. Where the Client or other interested party requires only assessment of the structure of the property, the scope of the Inspection shall be limited to that described in Appendix A. An estimate of the cost of rectification of defects is not required in an Inspection report in accordance with this Standard.

### **Inspection Records**

The Inspector shall record the following information prior to, or during the course of, the Inspection: Identity of the Inspector undertaking the Inspection; Identity of the Client; The address of the property inspected; Date of Inspection; Weather conditions

at the time of the Inspection; Limitations of Inspection with respect to the accessible area; Observation of defects.

### **Areas for Inspection**

The Client shall arrange right of entry, facilitate physical access to the property and supply necessary information to enable the Inspector to undertake the Inspection and prepare a report. The Inspector is not responsible for arranging access to property or parts of the property. Areas where reasonable entry is denied to the Inspector, or where reasonable access is not available, are excluded and do not form part of, the Inspection.

The Inspector shall inspect accessible parts of the building and appurtenances, together with the relevant feature of the property within 30 m of the building and within the boundaries of the site, or as otherwise agreed in the Inspection Agreement. In this context, relevant features include car accommodation, detached laundry, ablution facilities and garden sheds, retaining walls more than 700 mm high, paths and driveways, steps, fencing, earth embankments, surface water drainage and stormwater run-off.

The following areas shall be inspected where applicable: The interior of the building; The roof space; The exterior of the building; The sub-floor space; The roof exterior; The property within 30 m of the building subject to Inspection.

Significant items to be reported are as follows:

- (a) Major defects.
- (b) A general impression regarding the extent of minor defects, for example, significantly deteriorating exterior paint.
- (c) Any major defect that is an urgent and serious safety hazard, for example, unsafe balustrades or imminent collapse of a structural member.

### **Items to be inspected where applicable:**

**Interior:** Ceilings, Walls, Timber floors, Concrete floors, Timber or steel frames and structure, Timber windows, Metal/Aluminium framed windows, Doors and Frames, Kitchen: Benchtop, Cupboards, Sink/Taps, Tiles, Bathroom/WC/Ensuite: Cistern and pan, Bidet, Taps, Tiles, Bath, Shower, Vanity, Basins, Ventilation, Mirror; Laundry: Taps, Tubs/Cabinet, Tiles, Ventilation; stairs: Stringer, Handrail/Balusters, Treads and risers.

**Exterior:** Walls, Timber or steel frames and structure, Stairs, Balconies, Verandas, patios, decks, suspended concrete floors, balustrades, Roof, Skylight, Valleys, Guttering, Downpipes, Eaves, Fascia and bargeboards.

**Roof Space:** Roof covering, Roof framing, Sarking, Party walls, Insulation.

**Subfloor Space:** Timber Floor, Suspended concrete floors.

**The site:** Car accommodation, detached laundry, ablution facilities and garden sheds, Retaining walls, Paths and driveways, Steps, Fencing, Surface-water.

### **Exclusion of items from Inspection:**

Footings below ground.

The operation of fireplaces, solid fuel heaters, chimneys and flues.

Electrical appliances including dishwashers, incinerators, ovens, ducted vacuum Systems, Alarm and Intercom systems, air-conditioning.

Swimming pools and associated filtration and similar equipment.

Concealed damp-proof course, plumbing, gas fitting and fixtures.

Concealed tie-downs and bracing, framing-timbers or any areas concealed by wall linings/sidings.

Health hazards (e.g., allergies, soil toxicity, lead content, radon, presence of asbestos or urea-formaldehyde).

Soil conditions, control joints.

Sustainable development provisions, Environmental matters (e.g., BASIX, water tanks, NCC Environmental Provisions), Energy and lighting efficiency, Landscaping.

Rubbish, Stored items, furniture and accessories.

### **Safe and reasonable access**

The extent of accessible areas shall be determined by the Inspector at the time of Inspection,

based on the conditions encountered at the time of Inspection. The Inspector shall also determine whether sufficient space is available to allow safe access. The Inspection shall include only accessible areas and areas that are within the Inspector's line of sight and close enough to enable reasonable appraisal. Reasonable access shall be determined as below:

**Roof interior:** minimum 400mm x 500mm access hole, 600mm x 600mm crawl space, accessible from a 3.6m ladder.

**Roof exterior:** Accessible from a 3.6m ladder placed on the ground.

**Sub Floor Area:** 400mm x 500mm access hole; 400mm x 500mm crawl space. Reasonable access does not include the cutting of access holes or the removal of screws and bolts or any other fastenings or sealants to access covers.

Subfloor areas sprayed with chemicals are not to be inspected unless it is safe to do so. Areas, where reasonable entry is denied to the Inspector or where reasonable access is not available, are excluded from and do not form part of the Inspection.

### **Access Limitation:**

The Inspector will conduct a non-invasive visual Inspection which will be limited to those accessible areas and sections of the property to which Safe and Reasonable Access is both available and permitted on the date and time of the Inspection. Areas where reasonable entry is denied to the Inspector, or where safe and reasonable access is not available, are excluded from and do not form part of, the Inspection. Those areas may be the subject of an additional Inspection upon request following the provision or reasonable entry and access.

The Inspection excludes the inside of walls, between floors, inside skillion roofing, inside the eaves, behind stored goods in cupboards, and other areas that are

concealed or obstructed. The Inspector will not dig, gouge, force or perform any other invasive procedures.

### **Examples of access limitations:**

Legal right of entry, locked doors/windows, security systems, pets, furniture or other Obstructions, Height, narrow boundary clearances, thick vegetation, small roof or crawl space, adverse weather conditions.

The Report shall identify any area or item within the scope of the Inspection that was not inspected and the factor that prevented Inspection.

### **Acceptance criteria:**

The building shall be compared with a building that was constructed in accordance with the generally accepted practice at the time of construction and which has been maintained such that there has been no significant loss of strength and serviceability.

### **Definitions**

**Access hole (cover):** An opening in flooring or ceiling or other parts of a structure (such as service hatch, removable panel) to allow for entry to carry out an Inspection, maintenance or repair.

**Accessible area:** An area of the site where sufficient, safe and reasonable access is available to allow Inspection within the scope of the Inspection.

**Building element:** Portion of a building that, by itself or in combination with other such parts, fulfils a characteristic function.

**Client:** The person or other entity for whom the Inspection is being carried out.

**Defect:** Fault or deviation from the intended condition of a material, assembly, or component.

**Inspection:** Close and careful scrutiny of a building carried out without dismantling, in order to arrive at a reliable conclusion as to the condition of the building.

**Inspector:** Person who is responsible for carrying out the Inspection.

**Limitation:** Any factor that prevents full or proper Inspection of the building.

**Structural defect:** Fault or deviation from the intended structural performance of a building element.

**Structural element:** Physically distinguishable part of a structure; for example, wall, columns, beam, connection.

**Subfloor space:** Space between the underside of a suspended floor and the ground.

**Roof space:** Space between the roof covering and the ceiling immediately below the roof covering.

**Site:** Allotment of land on which a building stands or is to be erected.

### **Defect Categories:**

**Visually Fine (F):** Item inspected and is visually fine.

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**General Advice (G):** A general advice item is neither defect nor fine. It is only a recommendation/advice/description by Inspector.

**Defect (D):** Fault or deviation from the intended condition of a material, assembly, or component. Repair is recommended on Defect items.

**Major Defect (M):** A defect which can cause further severe damage (structural or non-structural) to the property or make it unsafe. The rectification must carry out ASAP to avoid damages/injuries.

**Unable to Inspect (U):** An area where the Inspector could not inspect at the time of Inspection due to one or more safe/reasonable access limitations.

**Not Applicable (N):** An item which is not applicable to the area of the Inspection.

## SUMMARY

16

GENERAL  
ADVICE/MAINTENANCE  
ITEM

16

REPAIR RECOMMENDED

2

MAJOR STRUCTURAL  
DEFECT/SAFETY HAZARD

- ⊖ 2.1.1 + Inspection Summary - + Inspector's Comments: + Rectifications required prior to plastering
- ⊖ 3.1.1 + Slab - + Slab Edges (External): + Slab Trimming required - passing the cladding
- 🔑 3.2.1 + Slab - + Slab Surface Finish (House Internal): + Unable to fully inspect due to stored material
- 🔑 4.1.1 + House External - + Fire Safety: + Property Within 900mm of the boundary
- 🔑 4.2.1 + House External - + Eaves: + Not Installed
- 🔑 4.3.1 + House External - + External Doors: + Temporary Door Installed
- 🔑 4.4.1 + House External - + Windows: + Visually Fine
- 🔑 5.1.1 + Roof Drainage System - + Fascia: + Appears fine
- ⊖ 5.2.1 + Roof Drainage System - + Gutters: + Debris to be removed
- ⊖ 5.4.1 + Roof Drainage System - + Downpipes: + Temporary Downpipes - Disconnected
- 🔑 6.1.1 + External Wall/Cladding - + Brickworks: + Incomplete
- ⊖ 6.4.1 + External Wall/Cladding - Sarking: Loose Sections
- ⊖ 6.4.2 + External Wall/Cladding - Sarking: + Seal around openings
- 🔑 6.5.1 + External Wall/Cladding - Weep holes: Appears Fine
- 🔑 7.1.1 + Site Drainage - + Site Grading: + Grading Partially done
- ⊖ 7.2.1 + Site Drainage - + Stormwater Drainage System (Underground): + Silt Pit - Debris/soil in
- ⊖ 7.2.2 + Site Drainage - + Stormwater Drainage System (Underground): + Silt Pit Level
- ⊖ 7.2.3 + Site Drainage - + Stormwater Drainage System (Underground): + Uncapped Pipe
- ⊖ 8.1.1 + Roof Cladding (External) - + Roof Cladding (Tile): + Reposition Roof Tile
- ⚠ 8.1.2 + Roof Cladding (External) - + Roof Cladding (Tile): + Broken/Cracked Roof Tiles
- ⊖ 8.1.3 + Roof Cladding (External) - + Roof Cladding (Tile): + Broken tile underlap
- ⊖ 8.1.4 + Roof Cladding (External) - + Roof Cladding (Tile): + Debris on the roof tiles
- 🔑 9.2.1 + Roof Space (Internal) - + Tile Roof Cladding (Underneath): + General view
- ⊖ 9.3.1 + Roof Space (Internal) - + Sarking & Anti Ponding: + Anti-ponding board required - (When sarking installed under tiled roof)
- ⊖ 9.3.2 + Roof Space (Internal) - + Sarking & Anti Ponding: + Incomplete
- 🔑 10.1.1 Internal of house - Ceiling Trims: + Appears fine

- 🔑 10.2.1 Internal of house - Bulk Heads: Appear Fine
- 🚫 10.4.1 Internal of house - Electrical: Cables In Contact With Plumbing Pipes
- 🚫 10.4.2 Internal of house - Electrical: Meter Box Support Fouling Plaster
- 🔧 10.5.1 Internal of house - Insulation: Not Installed - Ceiling Insulation
- 🔧 10.6.1 Internal of house - + Heating/Cooling: + Installed And Roughed In
- 🔑 11.1.1 Frame Report Re-assessment - Frame Inspection re-assessment: Frame Defects - Could Not Be Inspected
- ⚠ 11.1.2 Frame Report Re-assessment - Frame Inspection re-assessment: Frame Defects - Remaining
- 🔧 11.1.3 Frame Report Re-assessment - Frame Inspection re-assessment: Frame Defects - Fixed

# 1: + INSPECTION DETAILS

		F	G	D	M	U	N
1.1	+ General Conditions		X				
1.2	+ Limitations/Restrictions			X			

F = Visually Fine    G = General Advice    D = Defect    M = Major Defect    U = Unable to Inspect    N = Not Applicable

## Information

**+ General Conditions: In Attendance Trades**  
+ General Conditions: Levels  
Single Storey

**+ General Conditions: Weather Conditions**  
Clear

**+ General Conditions: Building Type**  
Residential

**+ General Conditions: Windows**  
Aluminium

**+ General Conditions: Roof**  
Tiled

**+ General Conditions: External Cladding**

Brick Veneer, Not Completed

**+ General Conditions: Building Age**  
New Build

**+ General Conditions: Piers**  
Timber

**+ General Conditions: Flooring Slab**

## Limitations

+ Limitations/Restrictions

**REASONABLE ACCESS TO THE PROPERTY WAS RESTRICTED BY:**

Wall Wrap/Sarking, Brickwork, Stored Material, Working Trades, Scaffolding, Insulation, Boundary

## 2: + INSPECTION SUMMARY

		F	G	D	M	U	N
2.1	+ Inspector's Comments			X			

F = Visually Fine    G = General Advice    D = Defect    M = Major Defect    U = Unable to Inspect    N = Not Applicable

### Observations

2.1.1 + Inspector's Comments



#### + RECTIFICATIONS REQUIRED PRIOR TO PLASTERING

Some defects found during the inspection, hence the plasters can not be installed before fixing the defects.

Builder is responsible for providing the rectifications proof (photo, video, meeting client on-site, etc.). A re-inspection booking may be required (upon client's request) to approve the rectifications.

To see the found defects, please refer to the full report.

Recommendation

Contact a qualified professional.

### 3: + SLAB

		F	G	D	M	U	N
3.1	+ Slab Edges (External)			X			
3.2	+ Slab Surface Finish (House Internal)			X			
3.3	+ Shower Recess						X

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## Limitations

+ Slab Edges (External)

### + SLAB EXTERNAL INSPECTION WAS RESTRICTED BY THE BELOW LIMITATIONS:

Cladding



+ Slab Surface Finish (House Internal)

### + SLAB SURFACE INSPECTION WAS RESTRICTED BY:

Stored Material

## Observations

3.1.1 + Slab Edges (External)



Repair recommended

### + SLAB TRIMMING REQUIRED - PASSING THE CLADDING

The concrete slab is out of the brickwork or other claddings. Trimming required to so that the slab is flush with the face of the cladding. Builder to ensure the reinforcement concrete cover maintains, otherwise the application of proper rod protection required.

Recommendation

Contact a qualified professional.



Right

3.2.1 + Slab Surface Finish (House Internal)



General Advice/Maintenance Item

### + UNABLE TO FULLY INSPECT DUE TO STORED MATERIAL

Unable to inspect the slab due to stored material on the slab. Where is visible looks fine.

Recommendation

Contact a qualified professional.



## 4: + HOUSE EXTERNAL

		F	G	D	M	U	N
4.1	+ Fire Safety		X				
4.2	+ Eaves		X				
4.3	+ External Doors		X				
4.4	+ Windows		X				
4.5	+ Retaining Walls					X	

F = Visually Fine    G = General Advice    D = Defect    M = Major Defect    U = Unable to Inspect    N = Not Applicable

### Observations

4.1.1 + Fire Safety

#### + PROPERTY WITHIN 900MM OF THE BOUNDARY



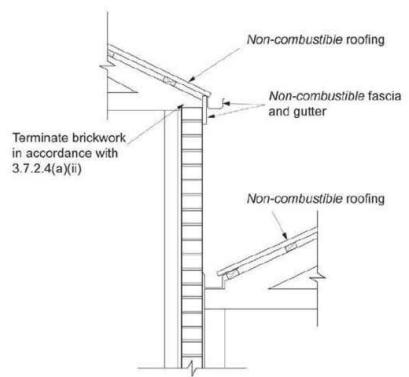
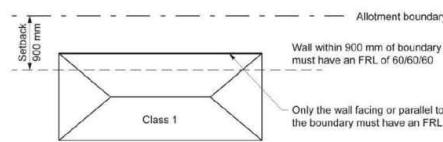
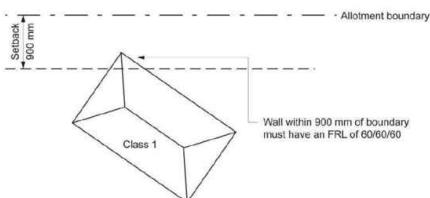
General Advice/Maintenance Item

Property is located within 900mm of the boundary. Builder is fully responsible to ensure Non-combustible materials are used in sections located within 900mm of the boundary.

#### National Construction Codes (NCC) - Figure 3.7.2.3 Typical construction of external walls.

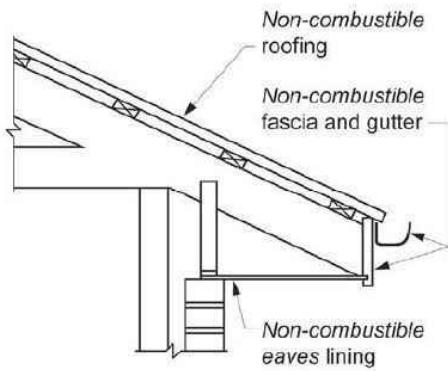
Recommendation

Contact a qualified professional.



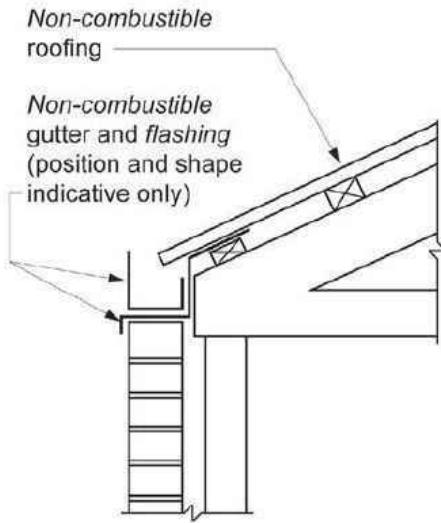
(e) Attached Class 1 buildings on the same allotment

Figure 3.7.2.3 (e)



(d) Eaves construction

Figure 3.7.2.3 (d)

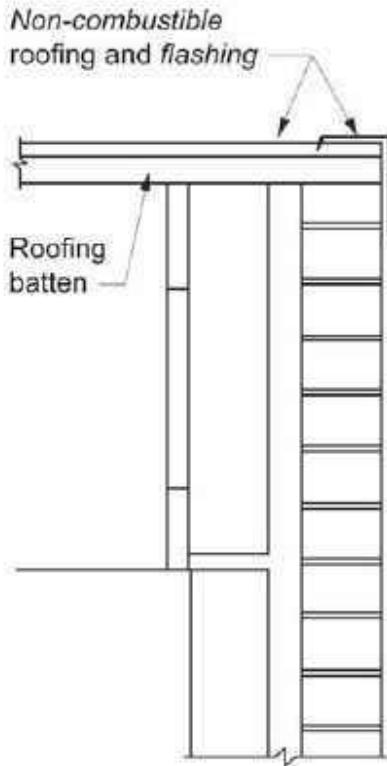


(b) Gutter on face of wall

Figure 3.7.2.3 (b)

(c) Gutter on top of wall

Figure 3.7.2.3 (c)



(a) Gable construction



Figure 3.7.2.3 (a)

## 4.2.1 + Eaves

**+ NOT INSTALLED**

Eave linings are not installed. They normally get installed in the fixing stage.

Recommendation

Contact a qualified professional.



General Advice/Maintenance Item



## 4.3.1 + External Doors



General Advice/Maintenance Item

**+ TEMPORARY DOOR INSTALLED**

A temporary entry door installed. It is a usual practice to install a temporary door during the construction and replacing it by the permanent door in the later stages to avoid any damage during the construction.

Recommendation

Contact a qualified professional.



## 4.4.1 + Windows



General Advice/Maintenance Item

**+ VISUALLY FINE**

Windows are visually fine at the time of inspection. All windows will be re-inspected in the fixing inspection.

Recommendation

Contact a qualified professional.



## 5: + ROOF DRAINAGE SYSTEM

		F	G	D	M	U	N
5.1	+ Fascia		X				
5.2	+ Gutters						
5.3	+ Rainheads						X
5.4	+ Downpipes				X		
5.5	+ Downpipe spreaders						X
5.6	+ Flashings					X	
5.7	+ Parapet Walls Capping						X

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### Observations

5.1.1 + Fascia



General Advice/Maintenance Item

#### + APPEARS FINE

Fascia appears fine at the time of inspection.



Recommendation

Contact a qualified professional.

5.2.1 + Gutters



Repair recommended

#### + DEBRIS TO BE REMOVED

All debris to be removed from gutters as soon as possible to prevent them from entering the downpipes and causing water damage.

Recommendation

Contact a qualified professional.



5.4.1 + Downpipes



Repair recommended

#### + TEMPORARY DOWNPipes - DISCONNECTED

one or more temporary downpipe(s) installed, however, they are not discharging to the stormwater system.

Temporary downpipes required to be installed properly during the construction phase to prevent the rainwater from ponding around the building and leaking under the slab.



Recommendation

Contact a qualified professional.

## 6: + EXTERNAL WALL/CLADDING

		F	G	D	M	U	N
6.1	+ Brickworks		X				
6.2	Render						X
6.3	Hebel						X
6.4	Sarking				X		
6.5	Weep holes	X					

F = Visually Fine    G = General Advice    D = Defect    M = Major Defect    U = Unable to Inspect    N = Not Applicable

### Limitations

+ Brickworks

#### + PROPERTY INSPECTION RESTRICTED BY:

Property on Boundary



### Observations

6.1.1 + Brickworks

#### + INCOMPLETE

The building of external wall/cladding has not completed yet. The lock-up stage of this property is not assumed to be completed as the external walls/cladding are a part of this stage.



General Advice/Maintenance Item

#### **DOMESTIC BUILDING CONTRACTS ACT 1995 - SECT 40**

"lock-up stage" means the stage when a home's external wall cladding and roof covering is fixed, the flooring is laid and external doors and external windows are fixed (even if those doors or windows are only temporary).

Recommendation

Contact a qualified professional.



#### 6.4.1 Sarking **LOOSE SECTIONS**

One or more sections of sarking are not secured to the wall. This must be rectified prior to plastering/brickwork to ensure walls are watertight.

Recommendation

Contact a qualified professional.

 Repair recommended



#### 6.4.2 Sarking **+ SEAL AROUND OPENINGS**

Sparking must be fixed around all windows, doors, metre box and other openings using proper sealing adhesive tape.

Recommendation

Contact a qualified professional.

 Repair recommended



#### 6.5.1 Weep holes

### APPEARS FINE

Appear fine.

Recommendation

Contact a qualified professional.



General Advice/Maintenance Item



## 7: + SITE DRAINAGE

		F	G	D	M	U	N
7.1	+ Site Grading		X				
7.2	+ Stormwater Drainage System (Underground)			X			

F = Visually Fine    G = General Advice    D = Defect    M = Major Defect    U = Unable to Inspect    N = Not Applicable

### Observations

7.1.1 + Site Grading



General Advice/Maintenance Item

#### + GRADING PARTIALLY DONE

The site has been graded partially. It will be inspected in the next stage inspection to ensure the whole site is graded.

#### National Construction Codes (NCC) - 3.1.3.3 Surface water drainage Slab-on-ground — finished ground level adjacent to buildings:

The external finished surface surrounding the slab must be drained to move surface water away from the building and graded to give a slope of not less than

- (I) 25 mm over the first 1 m from the building in low rainfall intensity areas for surfaces that are reasonably impermeable (such as concrete or clay paving); OR
- (ii) 50 mm over the first 1 m from the building in any other case.

Recommendation

Contact a qualified professional.



7.2.1 + Stormwater Drainage System (Underground)



Repair recommended

#### + SILT PIT - DEBRIS/SOIL IN

Debris/soil noted in the silt pit(s) which can cause possible future stormwater system blockage. Builder to ensure the pits and the whole system is free of any external debris/soil. A camera inspection is recommended prior to handover to ensure the stormwater is not blocked.

Recommendation

Contact a qualified professional.



7.2.2 + Stormwater Drainage System (Underground)

#### + SILT PIT LEVEL

Unable to determine the level of silt pit top. Builder to ensure the pits are installed at the right level so that the rainwater can be graded into the pits.

Recommendation

Contact a qualified professional.



Repair recommended



7.2.3 + Stormwater Drainage System  
(Underground)

### + UNCAPPED PIPE

Stormwater pipe(s) are not capped which can cause future water blockage by entered construction work materials and debris.

Recommendation

Contact a qualified professional.

 Repair recommended



## 8: + ROOF CLADDING (EXTERNAL)

		F	G	D	M	U	N
8.1	+ Roof Cladding (Tile)				X		
8.2	+ Roof Cladding (Metal)						X

F = Visually Fine    G = General Advice    D = Defect    M = Major Defect    U = Unable to Inspect    N = Not Applicable

### Limitations

+ Roof Cladding (Tile)

#### + ROOF CLADDING INSPECTION WAS RESTRICTED BY:

Scaffold

Unable to inspect the left, rear and right side of the roof cladding due to scaffold and working trades.

### Observations

8.1.1 + Roof Cladding (Tile)

#### + REPOSITION ROOF TILE

One or more roof tiles are not sitting in the correct position and need repositioning to prevent tile slippage and water leakage.

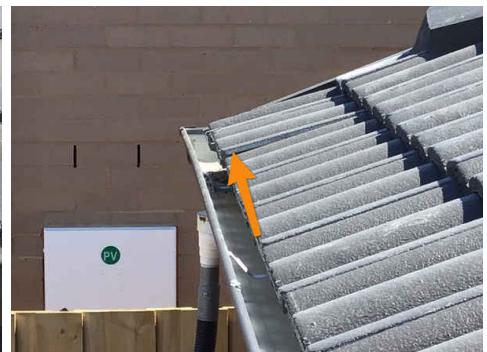
Recommendation

Contact a qualified professional.

 Repair recommended



Front



8.1.2 + Roof Cladding (Tile)

#### + BROKEN/CRACKED ROOF TILES

One or more roof tiles are broken or cracked and need replacement to prevent the property from water damage.

Recommendation

Contact a qualified professional.

 Major Structural Defect/Safety Hazard



Front

## 8.1.3 + Roof Cladding (Tile)

**+ BROKEN TILE UNDERLAP**

One or more roof tiles underlap are broken. Such tiles must be replaced to ensure the building will remain watertight during heavy rains and storms.

Recommendation

Contact a qualified professional.

 Repair recommended



Garage Front

## 8.1.4 + Roof Cladding (Tile)

**+ DEBRIS ON THE ROOF TILES**

There is one or more debris on the roof which need to be removed. The roof cladding should be out of any dirt, debris, mortar, excessive dust, marks, etc. at the time of handover. This will be reassessed in the PCI inspection.

Recommendation

Contact a qualified professional.

 Repair recommended



## 9: + ROOF SPACE (INTERNAL)

		F	G	D	M	U	N
9.1	+ Metal Roof Cladding (Underneath)						X
9.2	+ Tile Roof Cladding (Underneath)			X			
9.3	+ Sarking & Anti Ponding				X		

F = Visually Fine    G = General Advice    D = Defect    M = Major Defect    U = Unable to Inspect    N = Not Applicable

### Limitations

+ Tile Roof Cladding (Underneath)

### ACCESS/INSPECTION LIMITATIONS

Heating/cooling ducts, Sarking

### Observations

9.2.1 + Tile Roof Cladding (Underneath)

#### + GENERAL VIEW

General views of roof cladding from below.

Recommendation

Contact a qualified professional.



General Advice/Maintenance Item





## 9.3.1 + Sarking &amp; Anti Ponding

**+ ANTI-PONDING BOARD REQUIRED - (WHEN SARKING INSTALLED UNDER TILED ROOF)**
- Repair recommended

Anti-ponding board is not installed. it should be installed according to the below regulation:

**National Construction Codes (NCC) - 3.5.2.5 Anti-ponding device/board:**

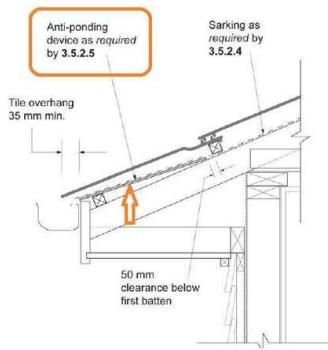
(a) An anti-ponding device/board must be provided where sarking is installed on—  
 (i) roofs with a pitch less than 20 degrees; and  
 (ii) roofs with no eaves overhang, regardless of the roof pitch.

(b) An anti-ponding device/board required by (a) must be water-resistant and fixed along the eaves line from the top of the fascia back up the rafter with a clearance of approximately 50 mm below the first batten (See Figure 3.5.2.4).

Recommendation

Contact a qualified professional.

Figure 3.5.2.4 Typical installation of anti-ponding device/board



## 9.3.2 + Sarking &amp; Anti Ponding

**+ INCOMPLETE**
- Repair recommended

Sisalation installed in some sections, but is incomplete. Builder to check the requirement.

Recommendation

Contact a qualified professional.



# 10: INTERNAL OF HOUSE

		F	G	D	M	U	N
10.1	Ceiling Trims		X				
10.2	Bulk Heads		X				
10.3	Plumbing	X					
10.4	Electrical			X			
10.5	Insulation		X				
10.6	+ Heating/Cooling	X					

F = Visually Fine    G = General Advice    D = Defect    M = Major Defect    U = Unable to Inspect    N = Not Applicable

## Information

### Plumbing: Pressure Test

Plumber to confirm all lines have been pressure tested prior to plastering works progressing.

## Observations

### 10.1.1 Ceiling Trims

#### + APPEARS FINE

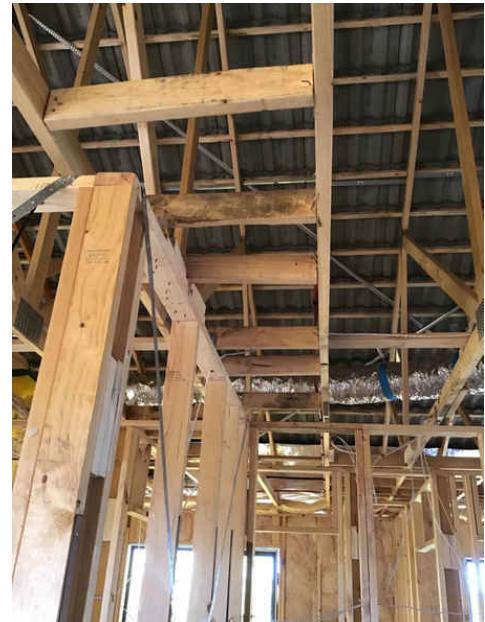


General Advice/Maintenance Item

Ceiling trims appear fine at the time of inspection.

Recommendation

Contact a qualified professional.



### 10.2.1 Bulk Heads

#### APPEAR FINE



General Advice/Maintenance Item

Bulkheads appear fine.

Recommendation

Contact a qualified professional.



## 10.4.1 Electrical

**CABLES IN CONTACT WITH PLUMBING PIPES** Repair recommended

Unprotected electrical wiring is in contact with plumbing pipes in one or more locations, a clearance of 25mm is required between wiring and plumbing water and gas pipes unless the wiring is protected in a conduit. Rectification is required.

## Recommendation

Contact a qualified professional.



Bathroom



Bathroom

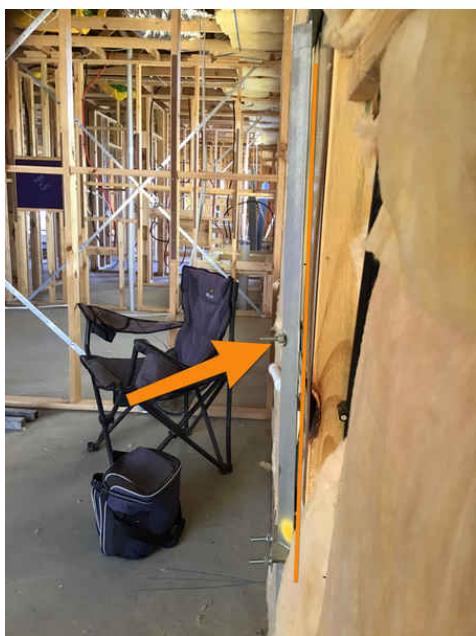
## 10.4.2 Electrical

**METER BOX SUPPORT FOULING PLASTER** Repair recommended

The temporary electrical meter box support post is hanging past face of studs which will result in the plasterboard fouling when installed. This support should be removed or adjusted so it is contained within wall cavity.

## Recommendation

Contact a qualified professional.



## 10.5.1 Insulation

**NOT INSTALLED - CEILING INSULATION**

Ceiling insulation has not been installed at the time of inspection. Insulation must be installed to ensure energy efficiency requirements are met. Ceiling insulation can be installed either before or after plastering. This will be assessed as part of the completion stage inspection.

## Recommendation

Contact a qualified professional.



## 10.6.1 + Heating/Cooling

**+ INSTALLED AND ROUGHED IN**

The heating/cooling unit was installed at the time of inspection and the ducts were roughed in at the time of inspection. The connections will be prior to the handover. Builder to provide the manufacturer's instruction and energy rating to the house owner.



General Advice/Maintenance Item

Recommendation

Contact a qualified professional.



# 11: FRAME REPORT RE-ASSESSMENT

		F	G	D	M	U	N
11.1	Frame Inspection re-assessment				X		

F = Visually Fine    G = General Advice    D = Defect    M = Major Defect    U = Unable to Inspect    N = Not Applicable

## Information

### Frame Inspection re-assessment:

#### FRAME REPORT RE-ASSESSMENT

Frame inspection report available and re-assessed, See full findings in report

## Observations

### 11.1.1 Frame Inspection re-assessment

#### FRAME DEFECTS - COULD NOT BE INSPECTED

Frame items that could not be inspected due to wall wrap/brickwork/cladding or stored materials:

#### 4.5.1 House Edge Rebate HONEYCOMBING NOTED

Recommendation

Contact a qualified professional.



General Advice/Maintenance Item





#### 11.1.2 Frame Inspection re-assessment

### FRAME DEFECTS - REMAINING

The below defect items from the frame stage inspection are still remaining unfixed:



4.5.2 House Edge Rebate PATCHING REQUIRED

4.9.1 Retaining Walls NOT ACCORDING TO THE DRAWINGS

5.2.1 + Stormwater Drainage System (Underground) SILT PIT - DEBRIS/SOIL IN

5.2.2 + Stormwater Drainage System (Underground) SILT PIT LEVEL

6.3.1 Plumb NOT PLUMB

7.4.1 Support points REINFORCEMENT OF TOP PLATE

8.3.3 Walls NOGGINGS

8.3.4 Walls METER BOX NOGGINS

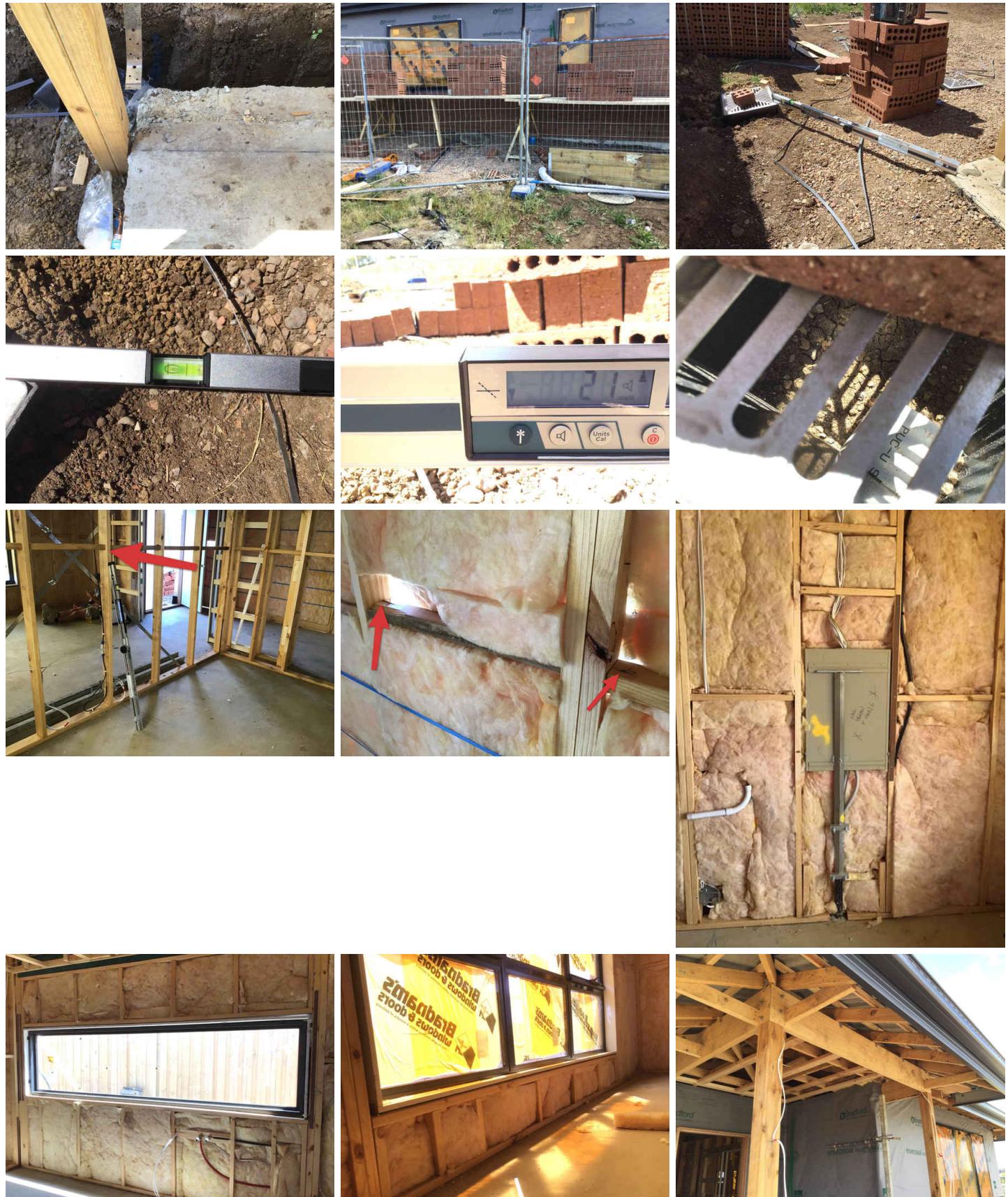
8.4.1 + Window sill trimmers WINDOW OPENINGS 2400-2700MM

8.4.2 + Window sill trimmers WINDOW OPENINGS 3000-3600MM

9.2.1 External Beams STRAP CONNECTION BEAM TO TIMBER POST

Recommendation

Contact a qualified professional.





#### 11.1.3 Frame Inspection re-assessment

### FRAME DEFECTS - FIXED

The below defect items from the frame stage inspection are fixed:

4.8.1 Internal Plumbing CAPPING OFF PIPES

4.8.2 Internal Plumbing WASTE POINT WRONG LOCATION

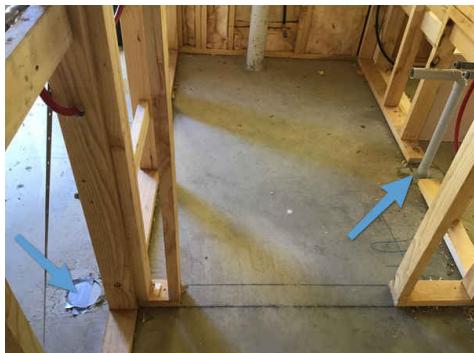
8.3.2 Walls STUD ON CORNERS



General Advice/Maintenance Item

#### Recommendation

Contact a qualified professional.



Ensuite

## STANDARDS OF PRACTICE

### **+ Roof Space (Internal)**

What's inspected? Trusses, Insulation, Pest and Termite

What's not inspected? Antennae, interiors of flues or chimneys which are not readily accessible, and other installed accessories.

This is not an exhaustive inspection of every installation detail of the roof system according to the manufacturer's specifications or construction codes. It is virtually impossible to detect a leak except as it is occurring or by specific water tests, which are beyond the scope of our inspection.