



## FRAME STAGE INSPECTION REPORT

1234 Main st.  
undefined, undefined undefined

Buyer Name  
06/06/2022 9:00AM



Inspector  
**Ty Pearson**  
Registered Building Practitioner  
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Agent  
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## **Inspection Agreement**

1. This is an Agreement between you, the undersigned Client, and us, Owner Inspections, pertaining to our inspection of the Property.
2. If there is more than one Client, you are signing on behalf of all of you, and you represent that you are authorised to do so.
3. 'Owner Inspections' Report carries out in accordance with the guidelines of Australian Standard 4349.1 2007 (Standard) which covers the minimum requirements for the Visual Inspection of residential buildings. The purpose of the Inspection is to provide a visual Inspection and provide in-writing advice only to the prospective purchaser/owner regarding the condition of the property at the date and time of Inspection.
4. The Report is NOT a certificate of compliance that the property complies with the requirements of any Act, regulation, ordinance, local law or by-law, local council or other authorities, or as a warranty or an insurance policy against problems developing with the building in the future.
5. The Report is based on the condition of the inspected property at the date and time of Inspection. While the Inspection and Report conducted and prepared with the possible care, still some access limitation and safety hazards can limit the Inspector's ability to detect all defects. These limits and safety items are defined in the standards.
6. The Report assumes that the existing use of the building will continue. If the vendor/owner wishes to change the use of the property, a permit to be acquired from the local authorities.
7. This Report does not include the identification of unauthorised building work or work not compliant with building/council regulations. The Report does not include identification of the municipality regulations and requirements as well as identification of design defects for the construction. According to the Standards, the estimate of the costs of the rectifications is not required in this Report.
8. The construction stage Inspection Report is prepared based on the opinion and assessment of the Inspector at the date and time of the Inspection on the general condition of the inspected property. The Report will not guarantee to include all defects. The Report reflects the quality of workmanship only and will not diminish the responsibility of the builder. The building company has and will have the full responsibility of the build as specified in the law and regulations. This Inspection Report is to Client as a piece of advice and is not a mandatory stage Inspection specified in the Acts and Regulations and building permit.
9. We do not perform engineering, architectural, plumbing, or any other job function requiring an occupational license in the jurisdiction where the property located. If we hold a valid occupational license, we may inform you of this, and you may hire us to perform additional functions. Any agreement for such additional services shall be in a separate writing.

10. Checking Legal matters, building contract, design, easements, local council restrictions and requirements, crossovers, title, boundaries, connections, building envelope, planning and building permits, setbacks and zonings are out of this Inspection and Report scope of work.

11. The Report will not include defects that may only be apparent in certain weather conditions or defects that have not yet appeared due to prolonged periods of wet or dry weather or other reasons.

12. An inspector shall only inspect areas where safe and unobstructed access provided. Reasonable access is defined in AS4349.1-2007 and this Agreement. Reasonable access does not include removing stored material/goods, nails, screws, cutting or making access hole, and moving furniture.

13. We will not test for the presence of radon, a harmful gas, mould, presence of asbestos, soil contamination, or other environmental hazards or violations.

14. The Report does not identify the presence of pests, or any damage caused by pests (e.g. termites, borers, etc.) unless the Client added to the requested service.

15. The Inspection is not intended to include rigorous assessment of all building elements in a property. Any maintenance and general advice items are a helpful guide only. The Report does not necessarily include all maintenance items.

16. If you request a re-Inspection, the re-Inspection is subject to the terms of this Agreement and re-Inspection fee.

17. The Report will be based on the Inspector's assessment on major defects and safety hazards evident and visually visible on the date and time of the Inspection. The Report will also provide a general assessment of the property and collectively comment on minor defects which would form a regular part of property maintenance.

18. Limitation on Liability and Damages: We are not liable for any cost of repair or replacement of unreported defects, either current or arising in the future. In all cases, our liability is limited to liquidated damages in an amount not greater than 1.5 times the fee you paid us. You waive any claim for consequential, exemplary, special or incidental damages or for the loss of the use of the home/building. You acknowledge that these liquidated damages are not a penalty, but that we intend it to: (i) reflect the fact that actual damages may be difficult or impractical to ascertain; (ii) allocate risk between us; and (iii) enable us to perform the Inspection for the agreed-upon fee. If you wish to eliminate this liquidated damage provision, we are willing to perform the Inspection for an additional fee of \$2,000 payable in advance upon your request.

19. Our Inspection and Report are for your use only. You give us permission to discuss our observations with real estate agents, owners, builders, or other interested parties. You will be the sole owner of the Report and all rights to it. We are not responsible for the use or misinterpretation by third parties, and third parties who rely on it in any way do so at their own risk and release us (including employees and business entities) from any liability whatsoever. You are not allowed to send/show our Report and/or a quotation to our market competitors. If Owner Inspections realise that our competitor has/saw our Report belonging to you and your property, we have the right to take legal action to retrieve damages. If you or any person acting on your behalf provide the Report to a third party who then sues you and/or us, you release us from any liability and agree to pay our costs and legal fees in defending any action

naming us. Our Inspection and Report are in no way a guarantee or warranty, express or implied, regarding the future use, operability, habitability or suitability of the home/building or its components. We disclaim all warranties, express or implied, to the fullest extent allowed by law.

20. You agree that the exclusive venue for any litigation arising out of this Agreement shall be in Australia, where we have our principal place of business. If you fail to prove any claim against us, you agree to pay all our legal costs, expenses and attorneys' fees incurred in defending that claim.

21. If a court declares any provision of this Agreement invalid, the remaining provisions remain in effect. This Agreement represents our entire Agreement; there are no terms other than those set forth herein. All prior discussions are merged into this Agreement. No statement or promise by us shall be binding unless reduced to writing and signed by one of our authorised officers. Any modification of this Agreement must be in writing and signed by you and by one of our authorised officers. This Agreement shall be binding upon and enforceable by the parties and their heirs, executors, administrators, successors and assignees. You will have no cause of action against us after one year from the date of the Inspection.

22. If a court finds any term of this Agreement ambiguous or requiring judicial interpretation, the court shall not construe that term against us because of the rule that any ambiguity in a document is construed against the party drafting it. You had the opportunity to consult qualified legal advice before accepting this Agreement.

23. You may not assign this Agreement.

24. BY BOOKING THE INSPECTIONS, YOU CONFIRM THAT YOU HAVE CAREFULLY READ THIS AGREEMENT. YOU AGREE TO IT AND ACKNOWLEDGE RECEIVING A COPY OF IT.

### **Purpose of Inspection**

The purpose of the Inspection is to provide advice to a prospective purchaser or other interested parties regarding the condition of the property at the time of Inspection.

### **Conditions of Inspection**

An Inspection Report may be conditional on Prevailing weather conditions or recent occupancy and use of services that might affect observations; Information provided by the Client or the agents of the Client; Deliberate concealment of defects; Any other relevant factor limiting the Inspection.

### **Scope of Inspection**

The Inspection shall comprise visual assessment of the property to identify major defects and to form an opinion regarding the general condition of the property at the time of Inspection. Where the Client or other interested party requires only assessment of the structure of the property, the scope of the Inspection shall be limited to that described in Appendix C, AS4349.1-2007. An estimate of the cost of rectification of defects is not required in an Inspection report in accordance with this Standard.

### **Inspection Records**

The Inspector shall record the following information prior to, or during the course of, the Inspection: Identity of the Inspector undertaking the Inspection; Identity of the

Client; The address of the property inspected; Date of Inspection; Weather conditions at the time of the Inspection; Limitations of Inspection with respect to the accessible area; Observation of defects.

### **Areas for Inspection**

The Client shall arrange right of entry, facilitate physical access to the property and supply necessary information to enable the Inspector to undertake the Inspection and prepare a report. The Inspector is not responsible for arranging access to property or parts of the property. Areas where reasonable entry is denied to the Inspector, or where reasonable access is not available, are excluded and do not form part of, the Inspection.

The Inspector shall inspect accessible parts of the building and appurtenances, together with the relevant feature of the property within 30 m of the building and within the boundaries of the site, or as otherwise agreed in the Inspection Agreement. In this context, relevant features include car accommodation, detached laundry, ablution facilities and garden sheds, retaining walls more than 700 mm high, paths and driveways, steps, fencing, earth embankments, surface water drainage and stormwater run-off.

The following areas shall be inspected where applicable: The interior of the building; The roof space; The exterior of the building; The sub-floor space; The roof exterior; The property within 30 m of the building subject to Inspection.

Significant items to be reported are as follows:

(a) Major defects.

(b) A general impression regarding the extent of minor defects, for example, significantly deteriorating exterior paint.

(c) Any major defect that is an urgent and serious safety hazard, for example, unsafe balustrades or imminent collapse of a structural member.

### **Items to be inspected where applicable:**

**Interior:** Ceilings, Walls, Timber floors, Concrete floors, Timber or steel frames and structure, Timber windows, Metal/Aluminium framed windows, Doors and Frames, Kitchen: Benchtop, Cupboards, Sink/Taps, Tiles, Bathroom/WC/Ensuite: Cistern and pan, Bidet, Taps, Tiles, Bath, Shower, Vanity, Basins, Ventilation, Mirror; Laundry: Taps, Tubs/Cabinet, Tiles, Ventilation; stairs: Stringer, Handrail/Balusters, Treads and risers.

**Exterior:** Walls, Timber or steel frames and structure, Stairs, Balconies, Verandas, patios, decks, suspended concrete floors, balustrades, Roof, Skylight, Valleys, Guttering, Downpipes, Eaves, Fascia and bargeboards.

**Roof Space:** Roof covering, Roof framing, Sarking, Party walls, Insulation.

**Subfloor Space:** Timber Floor, Suspended concrete floors.

**The site:** Car accommodation, detached laundry, ablution facilities and garden sheds, Retaining walls, Paths and driveways, Steps, Fencing, Surface-water.

### **Exclusion of items from Inspection:**

Footings below ground.

The operation of fireplaces, solid fuel heaters, chimneys and flues.

Electrical appliances including dishwashers, incinerators, ovens, ducted vacuum Systems, Alarm and Intercom systems, air-conditioning.

Swimming pools and associated filtration and similar equipment.

Concealed damp-proof course, plumbing, gas fitting and fixtures.

Concealed tie-downs and bracing, framing-timbers or any areas concealed by wall linings/sidings.

Health hazards (e.g., allergies, soil toxicity, lead content, radon, presence of asbestos or urea-formaldehyde).

Soil conditions, control joints.

Sustainable development provisions, Environmental matters (e.g., BASIX, water tanks, NCC Environmental Provisions), Energy and lighting efficiency, Landscaping.

Rubbish, Stored items, furniture and accessories.

### **Safe and reasonable access**

The extent of accessible areas shall be determined by the Inspector at the time of Inspection,

based on the conditions encountered at the time of Inspection. The Inspector shall also determine whether sufficient space is available to allow safe access. The Inspection shall include only accessible areas and areas that are within the Inspector's line of sight and close enough to enable reasonable appraisal. Reasonable access shall be determined as below:

**Roof interior:** minimum 400mm x 500mm access hole, 600mm x 600mm crawl space, accessible from a 3.6m ladder.

**Roof exterior:** Accessible from a 3.6m ladder placed on the ground.

**Sub Floor Area:** 400mm x 500mm access hole; 400mm x 500mm crawl space. Reasonable access does not include the cutting of access holes or the removal of screws and bolts or any other fastenings or sealants to access covers.

Subfloor areas sprayed with chemicals are not to be inspected unless it is safe to do so. Areas, where reasonable entry is denied to the Inspector or where reasonable access is not available, are excluded from and do not form part of the Inspection.

### **Access Limitation:**

The Inspector will conduct a non-invasive visual Inspection which will be limited to those accessible areas and sections of the property to which Safe and Reasonable Access is both available and permitted on the date and time of the Inspection. Areas where reasonable entry is denied to the Inspector, or where safe and reasonable access is not available, are excluded from and do not form part of, the Inspection. Those areas may be the subject of an additional Inspection upon request following the provision of reasonable entry and access.

The Inspection excludes the inside of walls, between floors, inside skillion roofing, inside the eaves, behind stored goods in cupboards, and other areas that are concealed or obstructed. The Inspector will not dig, gouge, force or perform any other invasive procedures.

**Examples of access limitations:**

Legal right of entry, locked doors/windows, security systems, pets, furniture or other Obstructions, Height, narrow boundary clearances, thick vegetation, small roof or crawl space, adverse weather conditions.

The Report shall identify any area or item within the scope of the Inspection that was not inspected and the factor that prevented Inspection.

**Acceptance criteria:**

The building shall be compared with a building that was constructed in accordance with the generally accepted practice at the time of construction and which has been maintained such that there has been no significant loss of strength and serviceability.

**Definitions**

**Access hole (cover):** An opening in flooring or ceiling or other parts of a structure (such as service hatch, removable panel) to allow for entry to carry out an Inspection, maintenance or repair.

**Accessible area:** An area of the site where sufficient, safe and reasonable access is available to allow Inspection within the scope of the Inspection.

**Building element:** Portion of a building that, by itself or in combination with other such parts, fulfils a characteristic function.

**Client:** The person or other entity for whom the Inspection is being carried out.

**Defect:** Fault or deviation from the intended condition of a material, assembly, or component.

**Inspection:** Close and careful scrutiny of a building carried out without dismantling, in order to arrive at a reliable conclusion as to the condition of the building.

**Inspector:** Person who is responsible for carrying out the Inspection.

**Limitation:** Any factor that prevents full or proper Inspection of the building.

**Structural defect:** Fault or deviation from the intended structural performance of a building element.

**Structural element:** Physically distinguishable part of a structure; for example, wall, columns, beam, connection.

**Subfloor space:** Space between the underside of a suspended floor and the ground.

**Roof space:** Space between the roof covering and the ceiling immediately below the roof covering.

**Site:** Allotment of land on which a building stands or is to be erected.

**Defect Categories:**

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**Visually Fine (F):** Item inspected and is visually fine.

**General Advice (G):** A general advice item is neither defect nor fine. It is only a recommendation/advice/description by Inspector.

**Defect (D):** Fault or deviation from the intended condition of a material, assembly, or component. Repair is recommended on Defect items.

**Major Defect (M):** A defect which can cause further severe damage (structural or non-structural) to the property or make it unsafe. The rectification must carry out ASAP to avoid damages/injuries.

**Unable to Inspect (U):** An area where the Inspector could not inspect at the time of Inspection due to one or more safe/reasonable access limitations.

**Not Applicable (N):** An item which is not applicable to the area of the Inspection.

# SUMMARY



GENERAL  
ADVICE/MAINTENANCE  
ITEM



DEFECTS



MAJOR STRUCTURAL  
DEFECTS/SAFETY HAZARDS

## Purpose of Inspection

The purpose of the Inspection is to provide advice to a prospective purchaser or other interested parties regarding the condition of the property at the time of Inspection.

## Conditions of Inspection

An Inspection Report may be conditional on Prevailing weather conditions or recent occupancy and use of services that might affect observations; Information provided by the Client or the agents of the Client; Deliberate concealment of defects; Any other relevant factor limiting the Inspection.

## Scope of Inspection

The Inspection shall comprise visual assessment of the property to identify major defects and to form an opinion regarding the general condition of the property at the time of Inspection. Where the Client or other interested party requires only assessment of the structure of the property, the scope of the Inspection shall be limited to that described in Appendix A. An estimate of the cost of rectification of defects is not required in an Inspection report in accordance with this Standard.

## Inspection Records

The Inspector shall record the following information prior to, or during the course of, the Inspection: Identity of the Inspector undertaking the Inspection; Identity of the Client; The address of the property inspected; Date of Inspection; Weather conditions at the time of the Inspection; Limitations of Inspection with respect to the accessible area; Observation of defects.

## Areas for Inspection

The Client shall arrange right of entry, facilitate physical access to the property and supply necessary information to enable the Inspector to undertake the Inspection and prepare a report. The Inspector is not responsible for arranging access to property or parts of the property. Areas where reasonable entry is denied to the Inspector, or where reasonable access is not available, are excluded and do not form part of, the Inspection.

The Inspector shall inspect accessible parts of the building and appurtenances, together with the relevant feature of the property within 30 m of the building and within the boundaries of the site, or as otherwise agreed in the Inspection Agreement. In this context, relevant features include car accommodation,

detached laundry, ablution facilities and garden sheds, retaining walls more than 700 mm high, paths and driveways, steps, fencing, earth embankments, surface water drainage and stormwater run-off.

The following areas shall be inspected where applicable: The interior of the building; The roof space; The exterior of the building; The sub-floor space; The roof exterior; The property within 30 m of the building subject to Inspection.

Significant items to be reported are as follows:

- (a) Major defects.
- (b) A general impression regarding the extent of minor defects, for example, significantly deteriorating exterior paint.
- (c) Any major defect that is an urgent and serious safety hazard, for example, unsafe balustrades or imminent collapse of a structural member.

**Items to be inspected where applicable:**

**Interior:** Ceilings, Walls, Timber floors, Concrete floors, Timber or steel frames and structure, Timber windows, Metal/Aluminium framed windows, Doors and Frames, Kitchen: Benchtop, Cupboards, Sink/Taps, Tiles, Bathroom/WC/Ensuite: Cistern and pan, Bidet, Taps, Tiles, Bath, Shower, Vanity, Basins, Ventilation, Mirror; Laundry: Taps, Tubs/Cabinet, Tiles, Ventilation; stairs: Stringer, Handrail/Balusters, Treads and risers.

**Exterior:** Walls, Timber or steel frames and structure, Stairs, Balconies, Verandas, patios, decks, suspended concrete floors, balustrades, Roof, Skylight, Valleys, Guttering, Downpipes, Eaves, Fascia and bargeboards.

**Roof Space:** Roof covering, Roof framing, Sarking, Party walls, Insulation.

**Subfloor Space:** Timber Floor, Suspended concrete floors.

**The site:** Car accommodation, detached laundry, ablution facilities and garden sheds, Retaining walls, Paths and driveways, Steps, Fencing, Surface-water.

**Exclusion of items from Inspection:**

Footings below ground.

The operation of fireplaces, solid fuel heaters, chimneys and flues.

Electrical appliances including dishwashers, incinerators, ovens, ducted vacuum Systems, Alarm and Intercom systems, air-conditioning.

Swimming pools and associated filtration and similar equipment.

Concealed damp-proof course, plumbing, gas fitting and fixtures.

Concealed tie-downs and bracing, framing-timbers or any areas concealed by wall linings/sidings. Health hazards (e.g., allergies, soil toxicity, lead content, radon, presence of asbestos or urea-formaldehyde).

Soil conditions, control joints.

Sustainable development provisions, Environmental matters (e.g., BASIX, water tanks, NCC Environmental Provisions), Energy and lighting efficiency, Landscaping.

Rubbish, Stored items, furniture and accessories.

### **Safe and reasonable access**

The extent of accessible areas shall be determined by the Inspector at the time of Inspection, based on the conditions encountered at the time of Inspection. The Inspector shall also determine whether sufficient space is available to allow safe access. The Inspection shall include only accessible areas and areas that are within the Inspector's line of sight and close enough to enable reasonable appraisal. Reasonable access shall be determined as below:

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Subfloor areas sprayed with chemicals are not to be inspected unless it is safe to do so. Areas, where reasonable entry is denied to the Inspector or where reasonable access is not available, are excluded from and do not form part of the Inspection.

### **Access Limitation:**

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The Inspection excludes the inside of walls, between floors, inside skillion roofing, inside the eaves, behind stored goods in cupboards, and other areas that are concealed or obstructed. The Inspector will not dig, gouge, force or perform any other invasive procedures.

### **Examples of access limitations:**

Legal right of entry, locked doors/windows, security systems, pets, furniture or other Obstructions, Height, narrow boundary clearances, thick vegetation, small roof or crawl space, adverse weather conditions.

The Report shall identify any area or item within the scope of the Inspection that was not inspected and the factor that prevented Inspection.

### **Acceptance criteria:**

The building shall be compared with a building that was constructed in accordance with the generally accepted practice at the time of construction and which has been maintained such that there has been no significant loss of strength and serviceability.

### **Definitions**

**Access hole (cover):** An opening in flooring or ceiling or other parts of a structure (such as service hatch, removable panel) to allow for entry to carry out an Inspection, maintenance or repair.

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**Inspection:** Close and careful scrutiny of a building carried out without dismantling, in order to arrive at a reliable conclusion as to the condition of the building.

**Inspector:** Person who is responsible for carrying out the Inspection.

**Limitation:** Any factor that prevents full or proper Inspection of the building.

**Structural defect:** Fault or deviation from the intended structural performance of a building element.

**Structural element:** Physically distinguishable part of a structure; for example, wall, columns, beam, connection.

**Subfloor space:** Space between the underside of a suspended floor and the ground.

**Roof space:** Space between the roof covering and the ceiling immediately below the roof covering.

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### **Defect Categories:**

**Visually Fine (F):** Item inspected and is visually fine.

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**Major Defect (M):** A defect which can cause further severe damage (structural or non-structural) to the property or make it unsafe. The rectification must carry out ASAP to avoid damages/injuries.

**Unable to Inspect (U):** An area where the Inspector could not inspect at the time of Inspection due to one or more safe/reasonable access limitations.

**Not Applicable (N):** An item which is not applicable to the area of the Inspection.

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2.1.1 + Inspectors Comments - + Inspection Summary: + Overall Conditions - Defective

- 3.1.1 + Slab - External - + House Edge Rebate: + Timber Wall Overhang

2.1.2 + Slab - External - + House Edge Rebate: + Unable to inspect

- 3.2.1 + Slab - External - + Vapour Barrier: + Vapour Barrier Not Visible

- 4.1.1 + Slab - Internal - + Garage Rebate: + Timber Wall Overhang

- 4.1.2 + Slab - Internal - + Garage Rebate: + Concrete trimming required

- 4.2.1 + Slab - Internal - + Shower Recess: Perimeter blocks required shower recess support.

- 5.1.1 + Roof/Site Drainage System - + Site Grading: Crushed rock used for slab backfill

- (-) 5.2.1 + Roof/Site Drainage System - + Stormwater Drainage System (Underground): + Uncapped Pipe
- (-) 6.1.1 + Roof Framing - + Trusses/Layout: + Ground floor roof frame incomplete
- (-) 6.1.2 + Roof Framing - + Trusses/Layout: Broken truss
- (-) 6.1.3 + Roof Framing - + Trusses/Layout: First floor roof incomplete
- (-) 6.1.4 + Roof Framing - + Trusses/Layout: 2 nails required all truss to plate connections.
- (A) 6.2.1 + Roof Framing - + Triple grips and structural tie down. : + Not Installed
- (A) 6.2.2 + Roof Framing - + Triple grips and structural tie down. : 2 x mitre plates missing
- (A) 6.2.3 + Roof Framing - + Triple grips and structural tie down. : Framing brackets not enough nails and nailed incorrectly.
- (A) 6.2.4 + Roof Framing - + Triple grips and structural tie down. : Hip support bracket missing
- (-) 6.3.1 + Roof Framing - + Truss boots: + Appear fine
- (-) 6.4.1 + Roof Framing - + Bracket fixings: + Improper fixing
- (-) 7.1.1 + Wall Framing - + General: Dwarf wall
- (-) 7.2.1 + Wall Framing - + Wall Heights: + Ground floor
- (-) 7.3.1 + Wall Framing - + Plumbness: + Deviate from vertical - Exceeding the tolerance limit
- (-) 7.5.1 + Wall Framing - + Noggings: + Missing Noggings
- (-) 7.5.2 + Wall Framing - + Noggings: + Additional Nogging Around Electrical Box
- (-) 7.6.1 + Wall Framing - + Bottom Plates: + Discontinuous - Loadbearing/Bracing walls
- (-) 7.7.1 + Wall Framing - + Top plates: + Install blocking plate under top plate joint
- (-) 7.7.2 + Wall Framing - + Top plates: Shear blocks required.
- (-) 7.8.1 + Wall Framing - + Support Points: + Blocking under concentration of load
- (A) 7.8.2 + Wall Framing - + Support Points: + Double stud required under the girder trusses
- (A) 7.8.3 + Wall Framing - + Support Points: Double studs required under structural beams
- (-) 7.8.4 + Wall Framing - + Support Points: Support require shower bases voids
- (A) 8.2.1 + Floor Framing (Double Storey Only) - + Floor Joists: Connection not matching with engineering
- (-) 8.2.2 + Floor Framing (Double Storey Only) - + Floor Joists: Posi strut I brackets and blocking not installed
- (A) 9.2.1 + Bracing (Walls Only) - + Plywood/Hardboard Bracing: + Missing
- (-) 9.2.2 + Bracing (Walls Only) - + Plywood/Hardboard Bracing: Incomplete bracing.
- (-) 9.3.1 + Bracing (Walls Only) - + Metal Angle Brace/Strap: + Not tensioned
- (A) 9.3.2 + Bracing (Walls Only) - + Metal Angle Brace/Strap: + Missing
- (A) 9.5.1 + Bracing (Walls Only) - + Bracing Tie down bolts/nails: + M10/12 Tie down bolt missing
- (A) 10.1.1 + Beams and Columns - + Timber Internal Beams/Lintels: + Connection is not matching with engineering
- (-) 10.2.1 + Beams and Columns - + Timber External Beams/Lintels: Lintel and framing required above meter box
- (A) 10.3.1 + Beams and Columns - + Steel columns/posts: + Column size/specification not matching with drawings
- (A) 10.3.2 + Beams and Columns - + Steel columns/posts: Column grossly out of plumb
- (A) 10.3.3 + Beams and Columns - + Steel columns/posts: Column sitting in rebate.
- (A) 10.3.4 + Beams and Columns - + Steel columns/posts: Grout required to columns.

④ 11.1.1 + Termite Management - + Physical Barriers: + Loose or damages

④ 11.2.1 + Termite Management - + Termite Management Notice: + Found

# 1: + INSPECTIONS DETAILS

					F	G	D	M	U	N
					F = Visually Fine	G = General Advice	D = Defect	M = Major Defect	U = Unable to Inspect	N = Not Applicable

## Information

<b>In Attendance</b> Site un-attended	<b>Weather Conditions</b> Clear	<b>How Many Levels?</b> Double Storey
<b>Documentation</b> Architectural Plans Supplied, Engineering Plans Supplied, Truss Plans Supplied	<b>Type Of Building</b> Residential, House	<b>External Building Material</b> Not Completed
<b>Flooring</b> Concrete, Timber	<b>Piers</b> Steel, Not Applicable	<b>Building Age</b> New Build

## Limitations

General

## REASONABLE ACCESS TO THE PROPERTY WAS RESTRICTED BY:

Vegetation., Scaffold safety compliance notice

Note. There is no notification to state that the scaffold is compliant and safe for site personnel.



## 2: + INSPECTORS COMMENTS

		F	G	D	M	U	N
2.1	+ Inspection Summary		X	X	X		

F = Visually Fine    G = General Advice    D = Defect    M = Major Defect    U = Unable to Inspect    N = Not Applicable

### Observations

2.1.1 + Inspection Summary

#### + OVERALL CONDITIONS - DEFECTIVE

The overall standard of the frame appears to be constructed to a mid standard with many defects noted that require repair.



General Advice/Maintenance Item

**Please Note:** This is a general appraisal only and cannot be relied on its own – read the report in its entirety.

This Summary is supplied to allow a quick and superficial overview of the inspection results. This Summary is NOT the Report and cannot be relied upon on its own. This Summary must be read in conjunction with the full report and not in isolation from the report. If there should happen to be any discrepancy between anything in the Report and anything in this Summary, the information in the Report shall override that in this Summary.

### 3: + SLAB - EXTERNAL

		F	G	D	M	U	N
3.1	+ House Edge Rebate		X	X			
3.2	+ Vapour Barrier			X			

F = Visually Fine    G = General Advice    D = Defect    M = Major Defect    U = Unable to Inspect    N = Not Applicable

## Observations

3.1.1 + House Edge Rebate



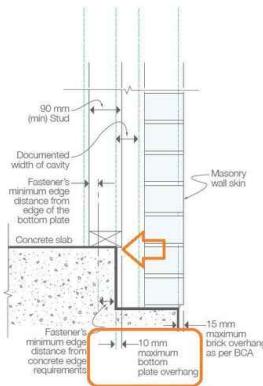
### + TIMBER WALL OVERHANG

Timber frame bottom plates are overhung more than the maximum allowance of 10mm in one or more areas of the slab. Non-shrinkage cement-based material to be applied to the side of the slab rebate to cover under the bottom plate.

#### Guide to Standards and Tolerances - 4.08

Bottom plates that are 90 mm wide or greater and overhang concrete slabs by more than 10 mm are defective.

DIAGRAM 4.08 BOTTOM PLATES THAT OVERHANG CONCRETE SLABS



### 3.1.2 + House Edge Rebate + UNABLE TO INSPECT



General Advice/Maintenance Item

Unable to inspect all sections of the slab edge due to installed termite physically barrier, dampproof membrane, or sarking/flashing.



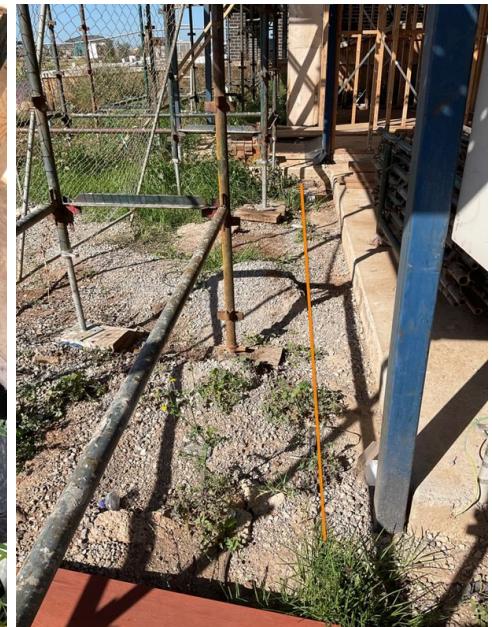
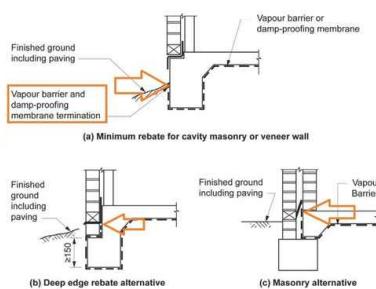
### 3.2.1 + Vapour Barrier

#### + VAPOUR BARRIER NOT VISIBLE



The under-slab vapour barrier was not visible in all or few areas at the time of inspection. The vapour barrier must cover the bottom and side of the concrete slab and should be extended to pass the natural ground.

Figure 3.2.2.3 Acceptable vapour barrier and damp-proofing membrane location



## 4: + SLAB - INTERNAL

		F	G	D	M	U	N
4.1	+ Garage Rebate			X			
4.2	+ Shower Recess			X			
4.3	+ Slab Surface Finish		X				

F = Visually Fine    G = General Advice    D = Defect    M = Major Defect    U = Unable to Inspect    N = Not Applicable

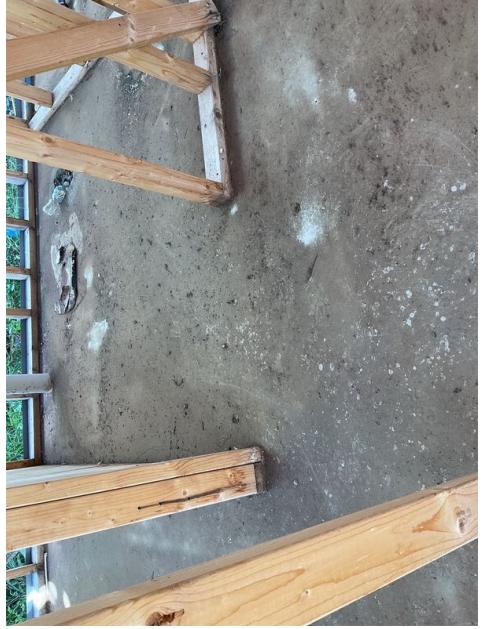
## Limitations

+ Slab Surface Finish

**+ SLAB SURFACE INSPECTION WAS RESTRICTED BY:**

Mud

Unable to fully Inspect due to the below reasons. Other areas visually look ok.





## Observations

4.1.1 + Garage Rebate

### + **TIMBER WALL OVERHANG**

Defects

Timber frame bottom plates are overhung more than the maximum allowance of 10mm in one or more areas of the slab. Non-shrinkage cement-based material to be applied to the side of the slab rebate to cover under the bottom plate.

#### Guide to Standards and Tolerances - 4.08

Bottom plates that are 90 mm wide or greater and overhang concrete slabs by more than 10 mm are defective.



Garage Rear



Garage Rear

4.1.2 + Garage Rebate

### + CONCRETE TRIMMING REQUIRED

The concrete needs to be trimmed so that the plasterboard can extend as required. Protect any exposed reinforcement.

Defects



Left Garage

4.2.1 + Shower Recess

### PERIMETER BLOCKS REQUIRED SHOWER RECESS SUPPORT.

First floor. All shower step downs.

Defects



Ensuite 2



Ensuite 3

## 5: + ROOF/SITE DRAINAGE SYSTEM

		F	G	D	M	U	N
5.1	+ Site Grading			X			
5.2	+ Stormwater Drainage System (Underground)			X			

F = Visually Fine    G = General Advice    D = Defect    M = Major Defect    U = Unable to Inspect    N = Not Applicable

### Observations

5.1.1 + Site Grading

**CRUSHED ROCK USED FOR SLAB BACKFILL** Defects

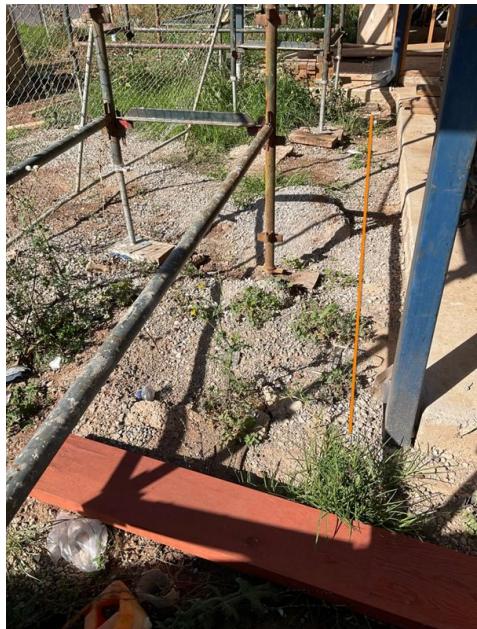
As per AS2870, crushed rock should not be used to backfill slab edge. Tampered, graded clay must be used to drain surface water away from the building.



Rear



Right



Front

## 5.2.1 + Stormwater Drainage System (Underground)

**+ UNCAPPED PIPE**

Stormwater pipe(s) are not capped which can cause future water blockage by entered construction work materials and debris.



Front



Front Left



Left Rear

## 6: + ROOF FRAMING

		F	G	D	M	U	N
6.1	+ Trusses/Layout		X	X			
6.2	+ Triple grips and structural tie down.					X	
6.3	+ Truss boots		X				
6.4	+ Bracket fixings			X			
6.5	+ Fascia						X
6.6	+ Gutters						X

F = Visually Fine    G = General Advice    D = Defect    M = Major Defect    U = Unable to Inspect    N = Not Applicable

### Observations

6.1.1 + Trusses/Layout

**+ GROUND FLOOR ROOF FRAME INCOMPLETE**



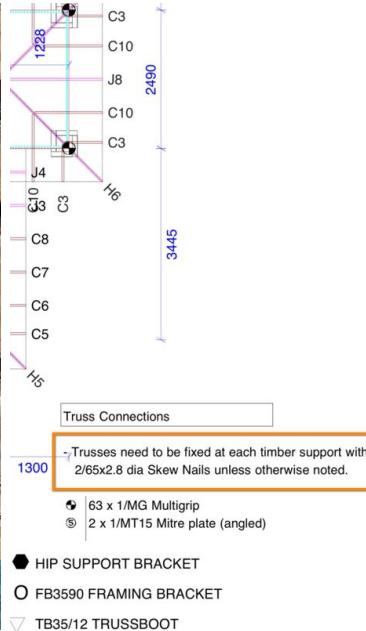
General Advice/Maintenance Item



## 6.1.2 + Trusses/Layout

**BROKEN TRUSS**
 Defects


Front Left 1st Floor



Rear 1st Floor



Front Right 1st Floor

6.1.3 + Trusses/Layout  
**FIRST FLOOR ROOF INCOMPLETE**



General Advice/Maintenance Item



Porch 1st Floor

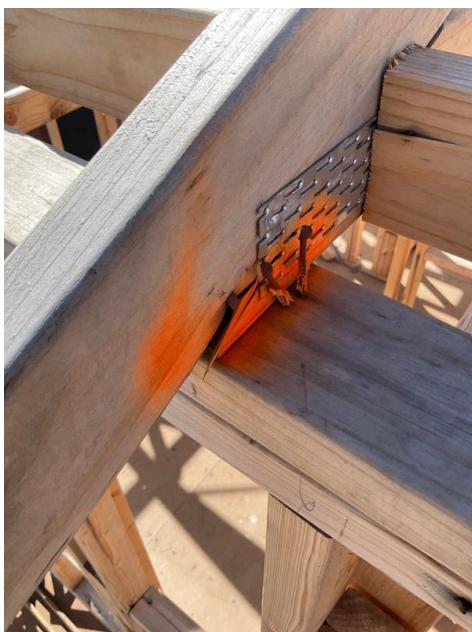
## 6.1.4 + Trusses/Layout

**2 NAILS REQUIRED ALL TRUSS TO PLATE CONNECTIONS.**

Defects



Rear 1st Floor

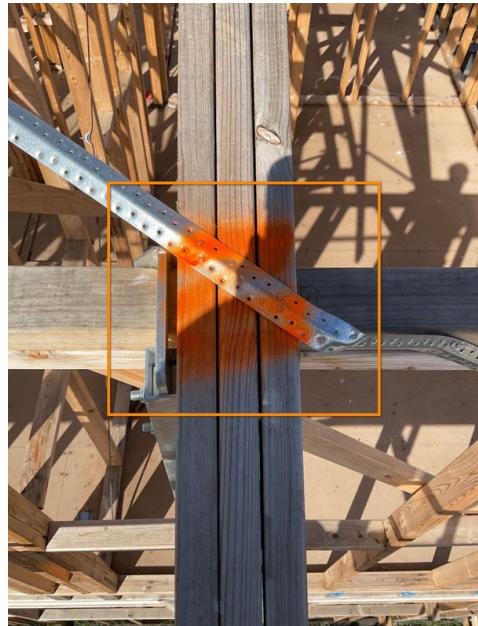


Rear 1st Floor

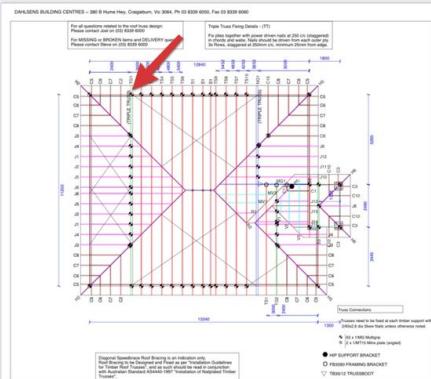
### 6.2.1 + Triple grips and structural tie down.

+ NOT INSTALLED

One or more triple grips (truss ties) were not installed at the time of inspections. Builder to check and ensure all triple grips are installed prior to the roof covering. Truss ties have not been installed throughout frame.



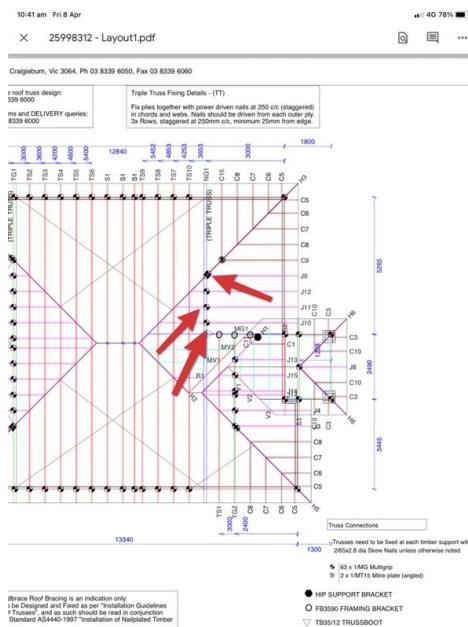
Rear Right 1st Floor



Rear Right 1st Floor



## Front Right 1st Floor



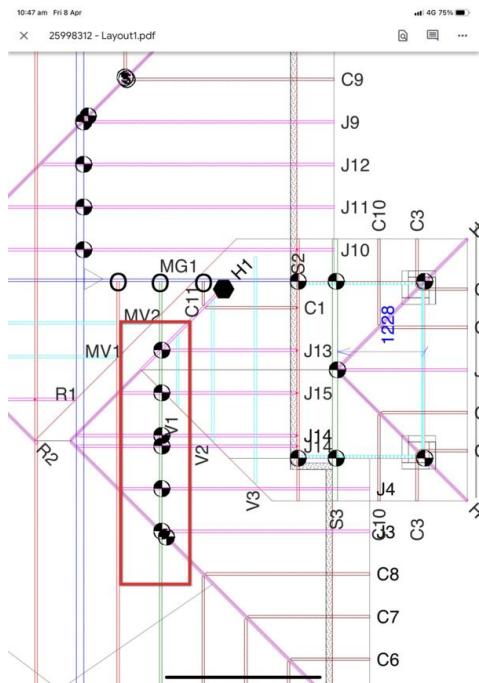
Front Right 1st Floor



Front Right 1st Floor



Front 1st Floor Front 1st Floor

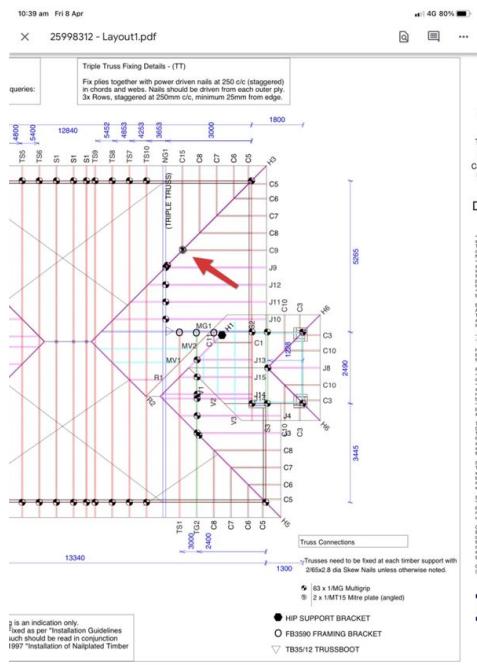


### 6.2.2 + Triple grips and structural tie down.

## 2 X MITRE PLATES MISSING



Front Right 1st Floor



Front Right 1st Floor

### 6.2.3 + Triple grips and structural tie down.

## FRAMING BRACKETS NOT ENOUGH NAILS AND NAILED INCORRECTLY.



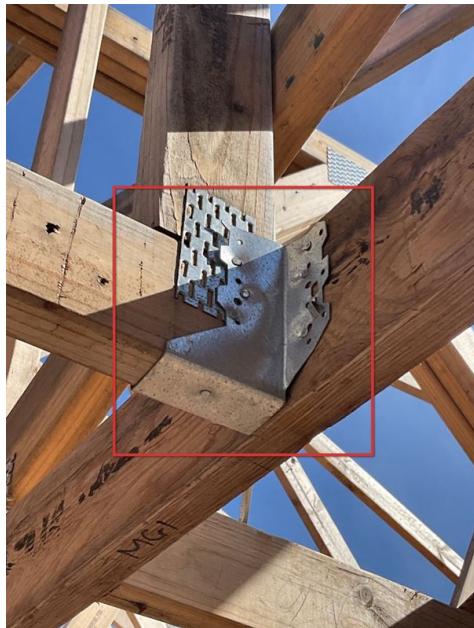
Front 1st Floor



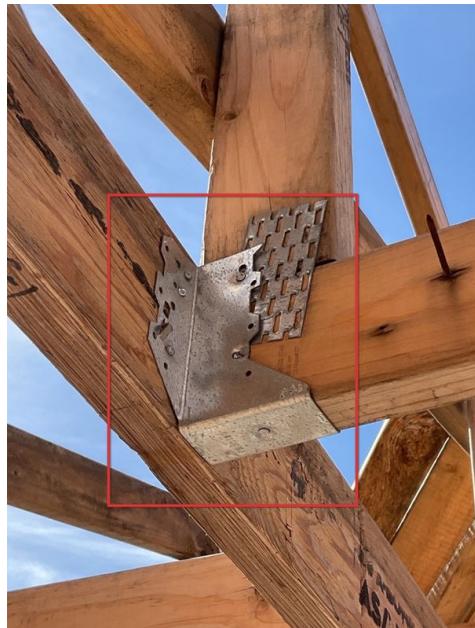
Front 1st Floor



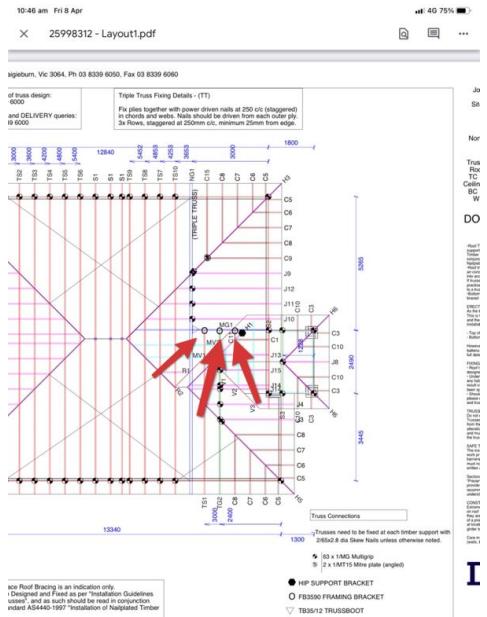
Front 1st Floor



## Front 1st Floor



Front 1st Floor



Front 1st Floor

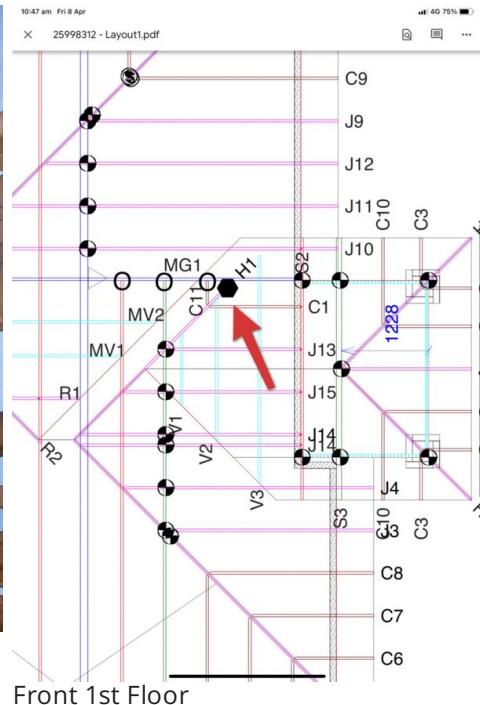
6.2.4 + Triple grips and structural tie down.

## HIP SUPPORT BRACKET MISSING

 Major Structural Defects/Safety Hazards



Front 1st Floor



6.3.1 + Truss boots

## + APPEAR FINE



General Advice/Maintenance Item

Truss boots appear fine at time of inspection.



## 6.4.1 + Bracket fixings

**+ IMPROPER FIXING** Defects

Brackets installed, however have not been air nailed as per manufacturers pneumatic fixing requirements. Photos example only, most need to be replaced or rectified and nailed properly. Many nails also missing to brackets.







## 7: + WALL FRAMING

		F	G	D	M	U	N
7.1	+ General			X			
7.2	+ Wall Heights						
7.3	+ Plumbness			X			
7.4	+ Frame/Opening Clearance			X			
7.5	+ Noggings			X			
7.6	+ Bottom Plates			X			
7.7	+ Top plates			X			
7.8	+ Support Points			X	X		
7.9	+ Windows			X			

F = Visually Fine    G = General Advice    D = Defect    M = Major Defect    U = Unable to Inspect    N = Not Applicable

### Information

#### + Frame/Opening Clearance: Windows are not installed.

Windows are not installed at the time of inspection. They will be inspected during lock up stage inspection.

#### + Windows: Windows are not installed.

Windows are not installed, they will be inspected in the lock-up stage inspection.



### Observations

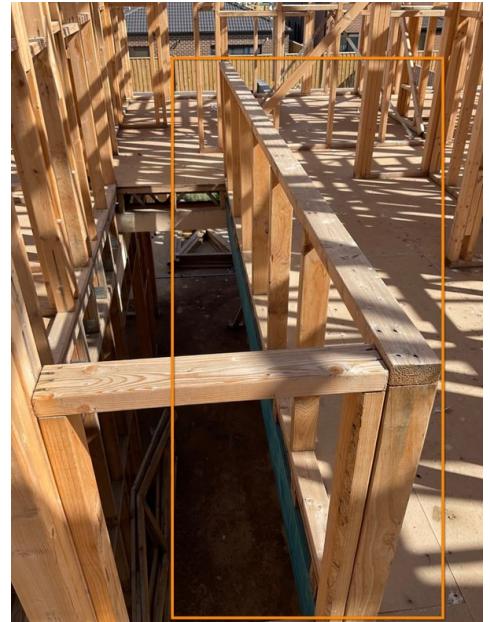
7.1.1 + General

**DWARF WALL**

To be stiffened to prevent lateral force and damage.



Defects



1st Floor

7.2.1 + Wall Heights

**+ GROUND FLOOR**

The height from the top of the concrete slab to the underside of joists/trusses is: 2740mm



General Advice/Maintenance Item

## 7.3.1 + Plumbness

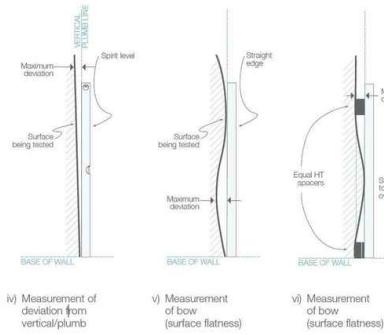
 Defects
**+ DEVIATE FROM VERTICAL - EXCEEDING THE TOLERANCE LIMIT**

One or more walls deviate from vertical (exceed the tolerance limit). Rectification required. Due to the frame sitting in the weather for long period, all walls should be checked and plumbed by contractor.

**Guide to Standards and Tolerances - 4.02**

Posts and wall frames are defective if they deviate from vertical by more than 5 mm over a 1.8 m height. (refer to diagram E).

DIAGRAM E MEASUREMENT OF VERTICAL AND INCLINED SURFACES



7.5.1 + Noggings

**+ MISSING NOGGINGS**

One or more wall noggings throughout the building were missed. Builder to fix them before the lock-up stage. This will be assessed at lock up stage inspection.

**AS1684.6.2.1.5**

Wall studs shall have continuous rows of noggings.



Left Front

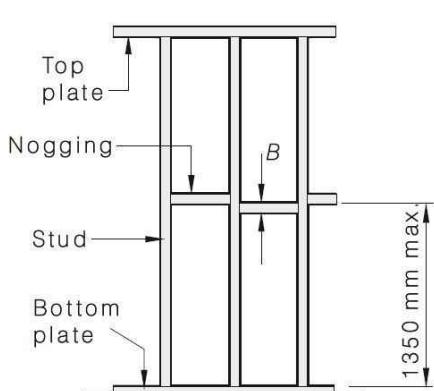


Garage Rear

## 7.5.2 + Noggings

 Defects
**+ ADDITIONAL NOGGING AROUND ELECTRICAL BOX**

The noggings spacing around the meterbox exceeds the maximum of 1,350mm. Additional nogging to be installed.



## 7.6.1 + Bottom Plates

 Defects
**+ DISCONTINUOUS - LOADBEARING/BRACING WALLS**

Top and bottom plate in **load-bearing and/or bracing walls** must be continuous. The cut-out sections of such bottom plates must be fixed using an alternative solution.

Top and bottom plates in internal non-loadbearing and non-bracing walls may be discontinuous up to 60 mm (cut or drilled) to permit installation of services provided that, at the discontinuity, the plates are trimmed or otherwise reinforced either side of the discontinuity to maintain the lateral and longitudinal integrity of the wall.

**AS1684.4 - 6.2.1.4**



7.7.1 + Top plates

**+ INSTALL BLOCKING PLATE UNDER TOP PLATE JOINT** Defects

Where joints occur in either top plate between studs, and where rafter or truss bears onto top plates, additional blocking shall be provided.

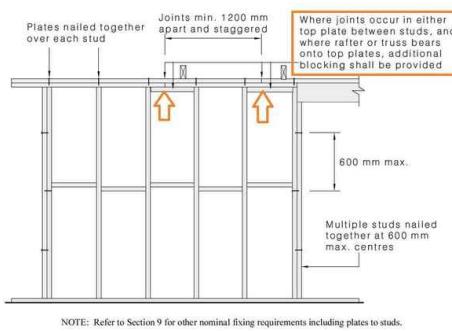
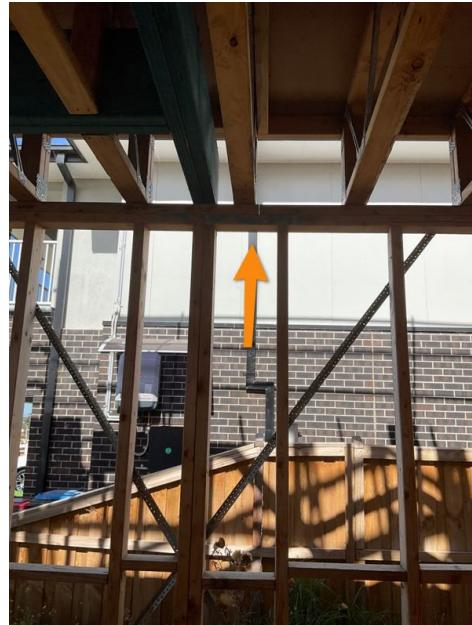
**Australian Standards (AS1684.4) - 2.4 STUD LAMINATION**

FIGURE 2.9 STUD OR PLATE LAMINATION



Master Bedroom



Ensuite 1



Stair void



Living/Dinning Room Ground Floor



Stair void

7.7.2 + Top plates

**SHEAR BLOCKS REQUIRED.**

All internal non load bearing braced walls. Photo example only.

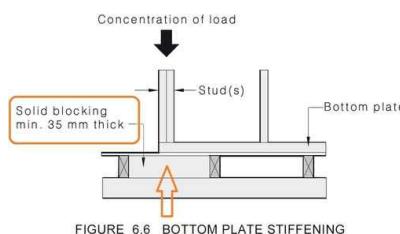
 Defects

7.8.1 + Support Points

**+ BLOCKING UNDER CONCENTRATION OF LOAD** Defects

Bottom plates supporting jamb studs to openings exceeding 1200 mm, or below studs supporting concentrations of load (Girder truss supporting studs for example), shall be stiffened as shown in Figure 6.6.

The photo may show some locations only. Builder to ensure all load concentrated points have blocks installed as shown in Figure 6.6

**AS1684.4 - 6.2.2.2**

7.8.2 + Support Points

**+ DOUBLE STUD REQUIRED UNDER THE GIRDER TRUSSES**

Double stud (or triple stud if specified in engineering) must be installed under girder trusses to vertically transfer the concentration of load to the foundation.



Major Structural Defects/Safety Hazards



Left Rear



Right Rear



Right Front

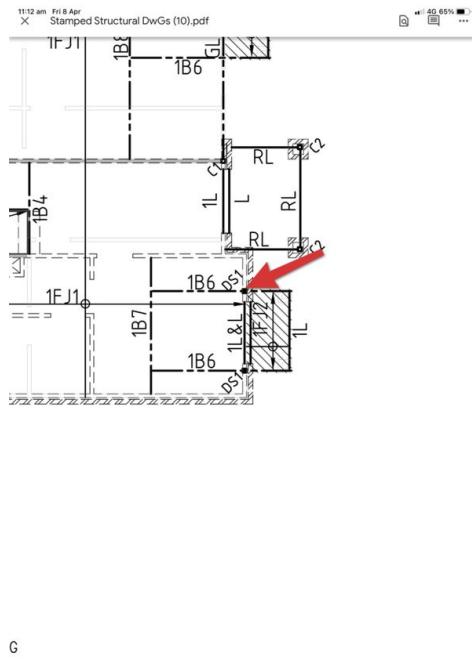
7.8.3 + Support Points

**DOUBLE STUDS REQUIRED UNDER STRUCTURAL BEAMS**

Major Structural Defects/Safety Hazards



Front Master Bedroom



Front Master Bedroom

7.8.4 + Support Points

**SUPPORT REQUIRE SHOWER BASES VOIDS**

Defects



1st Floor



## 8: + FLOOR FRAMING (DOUBLE STOREY ONLY)

		F	G	D	M	U	N
8.1	+ Timber Flooring						
8.2	+ Floor Joists				X	X	

F = Visually Fine    G = General Advice    D = Defect    M = Major Defect    U = Unable to Inspect    N = Not Applicable

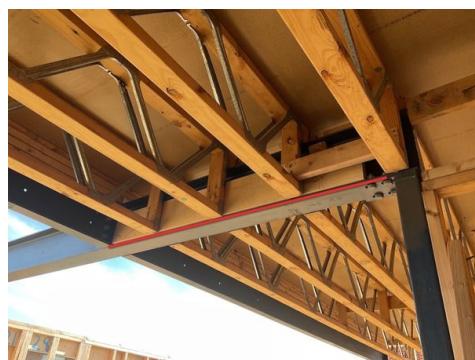
### Observations

8.2.1 + Floor Joists

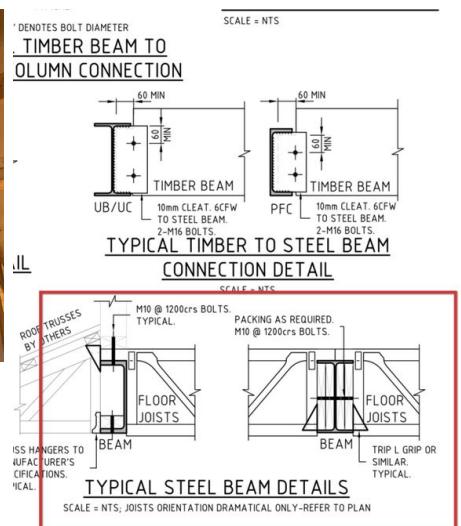
#### CONNECTION NOT MATCHING WITH ENGINEERING



Major Structural Defects/Safety Hazards



Living/Dining Room



Client: AARNA HOMES	Approved: P.P.	Drawn: K.J.
Address: LOT 433 FRESHBROOK AVENUE TRUGANINA	Drawing size: A3	Scale: AS NOTED
	Job Number: 217427	Sheet 8 of 9 Revision A

8.2.2 + Floor Joists

 Defects

## POSI STRUT L BRACKETS AND BLOCKING NOT INSTALLED

All internal bracing and non bracing internal walls. Refer manufacturers guidelines. Parallel FF walls require blocking below also



## 9: + BRACING (WALLS ONLY)

		F	G	D	M	U	N
9.1	+ General		X				
9.2	+ Plywood/Hardboard Bracing					X	
9.3	+ Metal Angle Brace/Strap				X	X	
9.4	+ Fixing - Metal Strap/Angle Brace						
9.5	+ Bracing Tie down bolts/nails					X	

F = Visually Fine    G = General Advice    D = Defect    M = Major Defect    U = Unable to Inspect    N = Not Applicable

### Information

#### + General: BRACING INFORMATION

**Bracing works to maintain rigidity of the structure in all points, prevent any displacements or other ways of deformation . Bracing shall be provided to stud walls to resist horizontal forces (wind, storm, earthquakes, etc.) applied to the building. Appropriate connections shall also be provided to transfer these forces through the framework and subfloor structure to the building foundation.**

### Observations

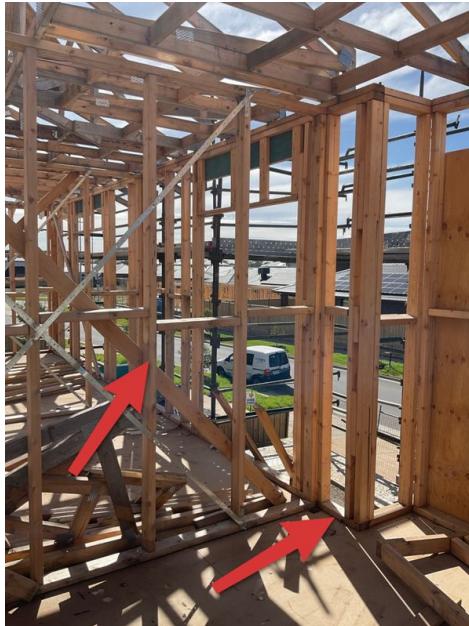
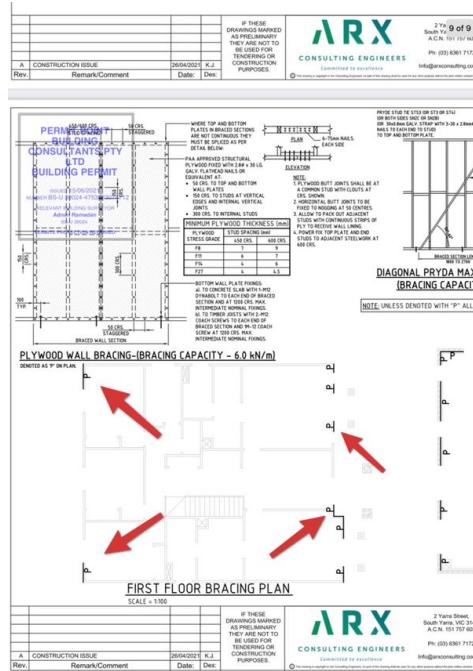
## 9.2.1 + Plywood/Hardboard Bracing

## + MISSING

One or more bracings which are shown on the plans are not installed.



Major Structural Defects/Safety Hazards



Front 1st Floor



1st Floor Rear Left

Front 1st Floor



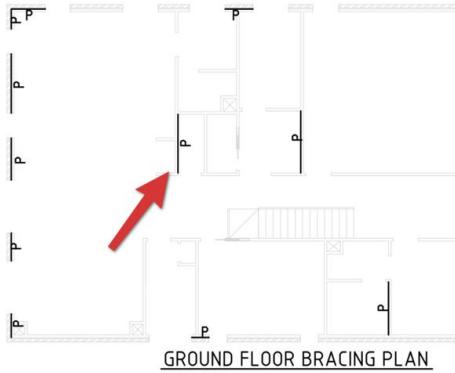
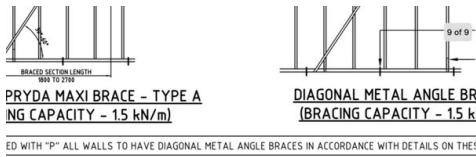
1st Floor Rear Right



Porch



Ground Floor Rear



GROUND FLOOR BRACING PLAN

SCALE = 1:100

2 Yarra Street,  
South Yarra, VIC 3141.  
A.C.N. 151 757 603  
Ph: (03) 8361 7172  
o@ancconsulting.com.au

Client

ARNA HOMES

Approved:

P.F

Drawing issue:

A

Job Number:

21742

## 9.2.2 + Plywood/Hardboard Bracing

**INCOMPLETE BRACING.**

Noggins and ply required to complete.



Defects



Front Left 1st Floor

## 9.3.1 + Metal Angle Brace/Strap

**+ NOT TENSIONED**

One or more metal strap bracing are not tensioned. All strap bracings must be tensioned using a proper tensioner to allow the bracing system perform as designed.



Defects



1st Floor Right Front

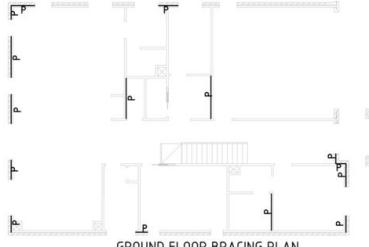
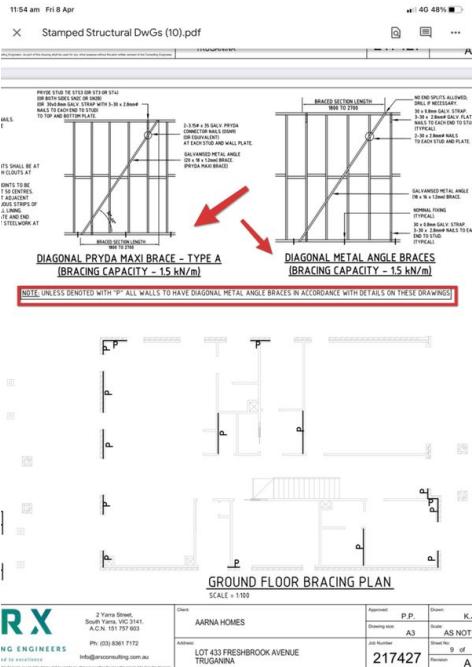
## 9.3.2 + Metal Angle Brace/Strap

**+ MISSING**

One or more bracing shown on the engineering plans are not installed. All specified bracings must be installed according to the plans. Builder to ensure all remaining walls to be braced as per engineering.



Major Structural Defects/Safety Hazards



2 Yarra Street, South Yarra, VIC 3141. A.C.N. 151 757 803 Ph: (03) 8381 7172 Email: info@unconcerned.com.au	Client AARNA HOMES	Approved Drawing date A3 Status AS NOT Satisfied	Drawn K. Sheet 9 of 217427 Version A
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9.5.1 + Bracing Tie down bolts/nails

**+ M10/12 TIE DOWN BOLT MISSING**

M10/12 tie down bolts are shown on Engineering drawings however one or more of them are missed and not installed. Bracing tie downs are playing a crucial role in the structural integrity and stability against the lateral forces. Rectification required ASAP and the proof to be provided to the client.



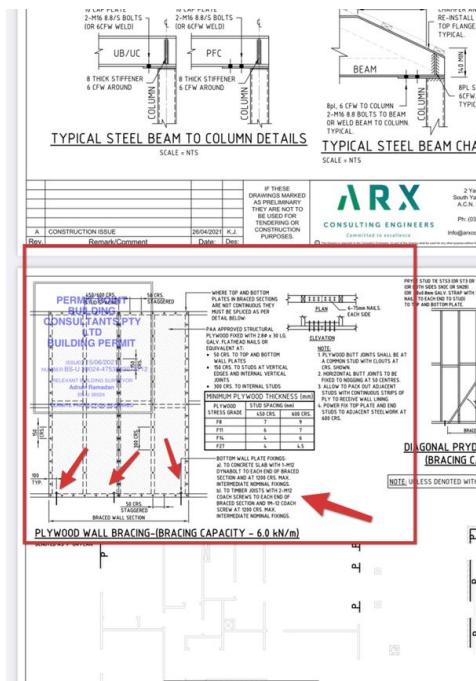
Front 1st Floor



Front 1st Floor



Front 1st Floor



Ground Floor



Ground Floor



Ground Floor

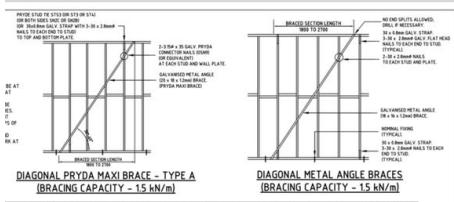


Ground Floor

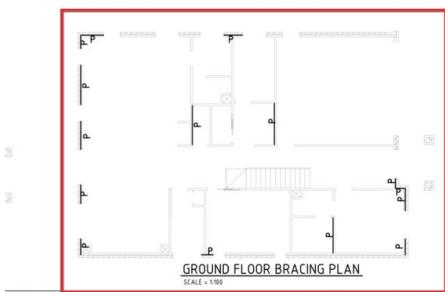


Ground Floor

 <p>2 Yarra Street South Yarra VIC 3141 A.C.N. 151 757 603 Ph: (03) 8361 7172 Email: <a href="mailto:Info@gkconsulting.com.au">Info@gkconsulting.com.au</a></p>		<p>Drawn: <b>P.P.</b> Checked: <b>K.J.</b> <b>9 of 9</b></p> <p>Approved: <b>P.P.</b> Drawn: <b>K.J.</b></p> <p>Drawing no: <b>A3</b> Scale: <b>AS NOTED</b></p> <p>Job Number: <b>217427</b> Sheet no: <b>8 of 9</b></p> <p>Position: <b>A</b></p>
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NOTE: UNLESS DENOTED WITH "P" ALL WALLS TO HAVE DIAGONAL METAL ANGLE BRACES IN ACCORDANCE WITH DETAILS ON THESE DRAWINGS



 <p>2 Yarra Street South Yarra VIC 3141 A.C.N. 151 757 603 Ph: (03) 8361 7172 Email: <a href="mailto:Info@gkconsulting.com.au">Info@gkconsulting.com.au</a></p>		<p>Drawn: <b>P.P.</b> Checked: <b>K.J.</b></p> <p>Approved: <b>P.P.</b> Drawn: <b>K.J.</b></p> <p>Drawing no: <b>A3</b> Scale: <b>AS NOTED</b></p> <p>Job Number: <b>217427</b> Sheet no: <b>9 of 9</b></p> <p>Position: <b>A</b></p>
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# 10: + BEAMS AND COLUMNS

		F	G	D	M	U	N
10.1	+ Timber Internal Beams/Lintels				X		
10.2	+ Timber External Beams/Lintels				X		
10.3	+ Steel columns/posts				X		

F = Visually Fine

G = General Advice

D = Defect

M = Major Defect

U = Unable to Inspect

N = Not Applicable

## Observations

10.1.1 + Timber Internal Beams/Lintels

### + CONNECTION IS NOT MATCHING WITH ENGINEERING

One or more beam connection/support not matching with the engineering specifications.

Builder to rectify the defect. Alternatively, provide an engineering certificate with accordingly emended engineering drawings.



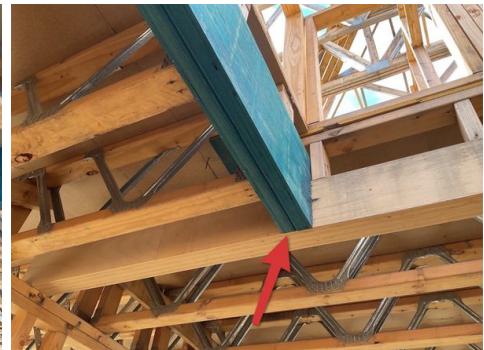
Major Structural Defects/Safety Hazards



Front Left Ground Floor



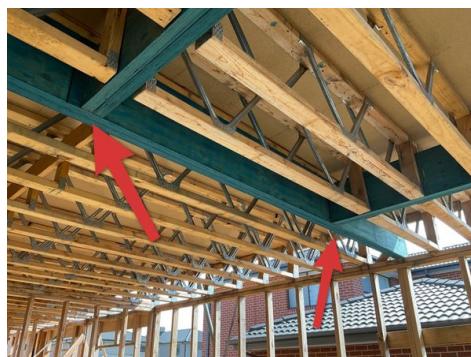
Master Bedroom



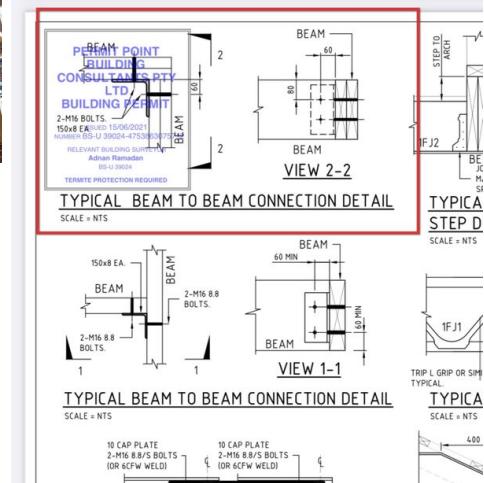
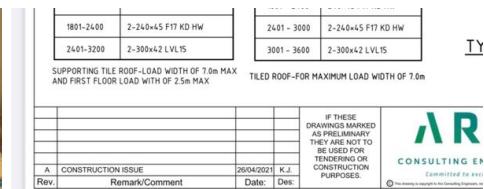
Stair void



Stair void



Garage



10.2.1 + Timber External Beams/Lintels

**LINTEL AND FRAMING REQUIRED ABOVE METER BOX** Defects

Garage Right Front

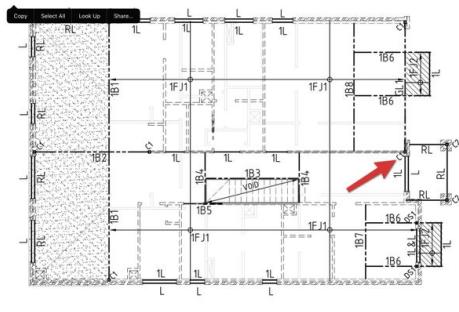
## 10.3.1 + Steel columns/posts

**+ COLUMN SIZE/SPECIFICATION NOT MATCHING WITH DRAWINGS**

One or more columns(s) size/specification not matching with the drawings. column is shown to be in line with wall frame. It is not taking roof load where it is currently situated.



Major Structural Defects/Safety Hazards



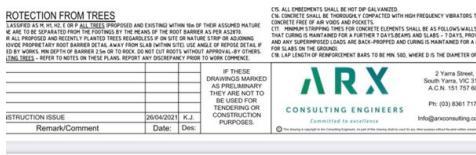
Garage Left



Garage Left

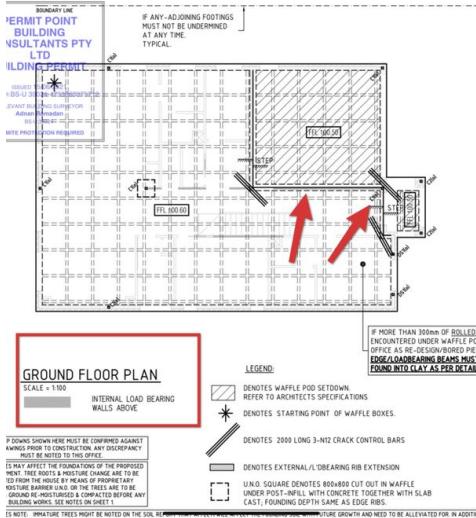


Garage Left



**ARX**  
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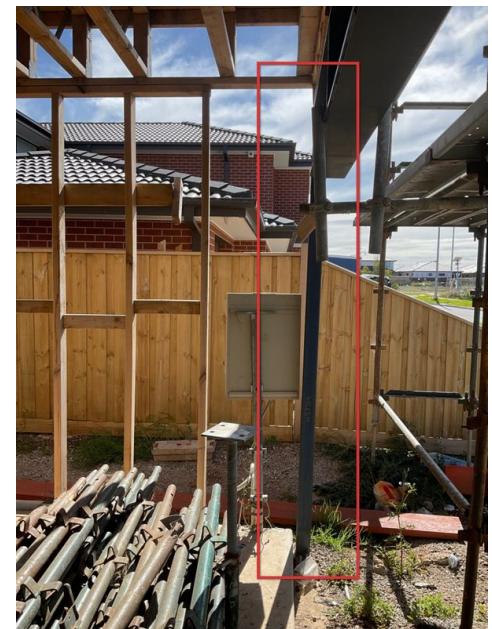


10.3.2 + Steel  
columns/posts

**⚠ Major Structural Defects/Safety Hazards**

## COLUMN GROSSLY OUT OF PLUMB

Over 50mm



Garage Right

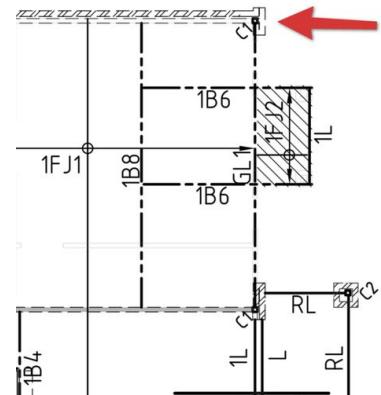
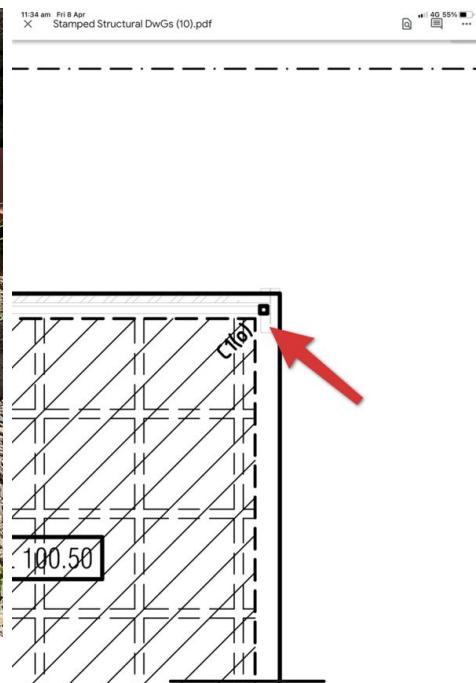
10.3.3 + Steel columns/posts

## COLUMN SITTING IN REBATE.

**⚠ Major Structural Defects/Safety Hazards**



Garage Right



## 10.3.4 + Steel columns/posts

**GROUT REQUIRED TO COLUMNS.**

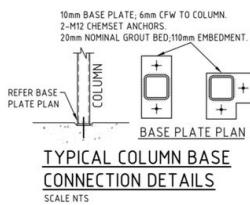
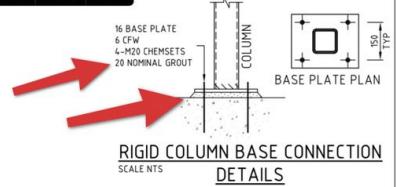
Porch



Porch

**⚠ Major Structural Defects/Safety Hazards**

Address: LOT 433 FRESHBROOK AVENUE  
TRUGANINA  
Job Number: 217427  
Sheet No: 3 of 9  
Revision: A



## 11: + TERMITE MANAGEMENT

		F	G	D	M	U	N
11.1	+ Physical Barriers			X			
11.2	+ Termite Management Notice			X			

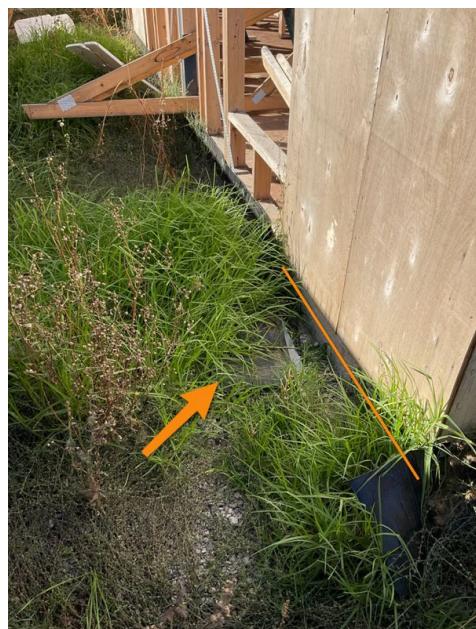
F = Visually Fine    G = General Advice    D = Defect    M = Major Defect    U = Unable to Inspect    N = Not Applicable

### Observations

11.1.1 + Physical Barriers

#### + LOOSE OR DAMAGES

Some parts of physical termite barrier aged or installed improperly. Fixing required.



Right Rear



Right Front

11.2.1 + Termite Management  
Notice



General Advice/Maintenance Item

**+ FOUND**

Termite management notice is found but the writings cannot be read

